



**Quadrangle Architects Limited**  
901 King Street West, Suite 701 Toronto, ON M5V 3H5  
t 416 598 1240   www.quadrangle.ca

## 250 Lawrence Avenue West

Toronto, Ontario

for  
2418832 Ontario Inc. and 2419732 Ontario Inc.

Project No.   14025  
Date            15 MARCH 2019  
Issued for    ISSUED FOR SPA RESUBMISSION

### ARCHITECTURAL / LANDSCAPE DRAWINGS

A000	COVER SHEET	A211	ROOF PLAN OF MECHANICAL PENTHOUSE
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A101	SITE PLAN	A402	WEST ELEVATION
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A151	LEVEL P3 FLOOR PLAN	A404	EAST ELEVATION
A152	LEVEL P2 FLOOR PLAN	A405	COLOURED PARTIAL SOUTH ELEVATION
A153	LEVEL P1 FLOOR PLAN	A406	COLOURED PARTIAL SOUTH ELEVATION
A201	GROUND FLOOR PLAN	A451	EAST-WEST SECTION
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A207	LEVEL 7 FLOOR PLAN		
A208	LEVEL 8 FLOOR PLAN		
A209	LEVEL 9 FLOOR PLAN		
A210	MECHANICAL PENTHOUSE PLAN		

### LANDSCAPE ARCHITECT

Strybos Barron King  
5770 Hurontario Street, Suite 320  
Toronto, ON L5R 3G5  
T 416 695 4949

### SITE SERVICES

SCS Consulting Group Ltd.  
30 Centurian Drive, Suite 100  
Markham, ON L3R 8B8  
T 905 475 1900

### TRAFFIC & PARKING

WSP Group  
100 Commerce Valley Drive West  
Thornhill, ON L3T 0A1  
T 905 882 7302

#### REVISION RECORD

2019-03-15	Issued for SPA Resubmission
2018-02-21	Issued for OMB (OPA, ZBA, SPA)
2017-08-18	Issued for Circulation
2017-02-21	Issued for City Discussion
2016-06-30	Issued for Rezoning Resubmission & SPA
2015-03-23	Issued for Rezoning & OPA Application
2015-02-17	Issued for Coordination
2014-12-15	Issued for Coordination

#### ISSUE RECORD



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2419732 Ontario Inc.

14025

PROJECT   SCALE   DRAWN   REVIEWED

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New Zoning Bylaw 569-2013 Gross Floor Area Calculations												
	GCA (sm)		Parking (sm)	RGFA Deductions								Total Deductions (sm)
	Condo	Semi-Detached and 3 Townhouses		Loading (sm)	Bicycle (sm)	Interior Amenity (sm)	Elevators (sm)	Garbage (sm)	Parking / Ramp (sm)	Stairs (sm)	Mech / Elec / Shafts (sm)	
Level 09	1,236					106	20	2,0		20	0	148
Level 08	1,353						20	2,0		20	0	42
Level 07	1,670						20	2,0		20	0	42
Level 06	1,707						20	2,0		20	0	42
Level 05	1,732						20	2,0		20	0	42
Level 04	1,732						20	2,0		20	0	42
Level 03	1,732						20	2,0		20	0	42
Level 02	1,732						20	2,0		20	0	42
Ground Floor	1,352				90	247	20	1	190	29	0	577
Total GCA Excluding Parking	14,246	0										
P1			2,805									
P2			2,805									
P3			2,805									
Total GCA Including Parking			22,661			353	180	17	190	189	0	1,019

Unit Breakdown	1B	1B+D	2B	2B+D	3B	Total by Level
Level 09	0	1	3	6		10
Level 08	0	1	4	7		12
Level 07	8	9	6	2		25
Level 06	8	8	6	3		25
Level 05	8	8	5	4		25
Level 04	8	8	5	4		25
Level 03	8	8	5	4		25
Level 02	4	4	5	4		17
Ground Floor	0	0	2	8		10
Total Units	44	47	41	42	0	174
Percentage	25%	27%	24%	24%	0%	

Amenity Space Requirements by Zoning By-law 569-2013		
	Ratio (sm/unit)	No. of Condo Units*
Interior	2	174
Exterior	1.65	174
Total Required		635

Amenity Space Provided		
	Ground (sm)	9 floor/Roof (sm)
Interior	247	106
Exterior	224	64
Total Provided		641

Vehicular Parking Requirements as per Amended Zoning By-law 569-2013					
	1B	1B+D	2B	2B+D	3B
Parking Ratio	0.8	0.8	0.9	0.9	1.1
Required	35.2	37.6	36.9	37.8	26.1
Subtotal					147
Total Required (Occupant + Visitor)					173
4 BF spaces for the first 100 spaces					4
1 BF spaces per 50 spaces thereafter					1
Total Accessible Parking Spaces Required					5

Vehicular Parking Provided				
	Visitor	Occupant	BF Space	Auto-share
Ground				2
P1	26	22	3	
P2		64	2	
P3		66	2	
Subtotal	26	152	7	6
Total Provided		184		

BF spaces are included in Visitor & Occupant spaces. each auto-share space is counted as 3 regular spaces

3 New Zoning By-Law 569-2013  
A100 SCALE: NTS

#### Toronto Green Standard Statistics

General Project Description	Proposed
Total Gross Floor Area	15,847
Breakdown of project components (m <sup>2</sup> ):	
Residential	15,847
Retail	-
Commercial	-
Industrial	-
Institutional/other	-
Total number residential units (residential only)	174

Automobile Infrastructure	Required	Proposed	Proposed (%)
Number of parking spaces	173	184	
Number of parking spaces with physical provision for future EV charging (residential)	0	0	
Number of parking spaces dedicated for priority parking: LEV, car pooling, car sharing (institutional/commercial)	0	0	
Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of long-term bicycle parking spaces (residential)	119	130	
Number of long-term bicycle parking spaces (all other uses)	-	-	
Number of long-term bicycle parking (residential and all other uses) located on:			
a) first storey of building		71	
b) second storey of building		0	
c) first level below-ground (also indicate % of net area of level occupied by bicycle parking)		59	
d) second level below-ground (also indicate % of net area of level occupied by bicycle parking)			
e) other levels below-ground (also indicate % of net area of level occupied by bicycle parking)			
Number of short-term bicycle parking spaces (residential only)	13	13	
Number of short-term bicycle parking spaces (all other uses)	-	-	
Number of male shower and change facilities (non-residential only)	-	-	
Number of female shower and change facilities (non-residential only)	-	-	

Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage room area (residential only) (m <sup>2</sup> )	64	71	
Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of short-term bicycle parking spaces (residential and all other uses) at-grade or on first level below grade	13	13	
Urban Heat Island Reduction: At Grade	Required	Proposed	Proposed (%)
Total non-roof hardscape area (m <sup>2</sup> )			
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m <sup>2</sup> and %)			
Area of non-roof hardscape treated with: (indicate m <sup>2</sup> and %)			
a) high-albedo surface material		REFER TO LANDSCAPE ARCHITECT DRAWINGS	
b) open-grid pavement			
c) shade from tree canopy			
d) shade from structures covered by solar panels			
Percentage of required car parking spaces under cover (minimum 50%)(non-residential only)			
Urban Heat Island Reduction: Roof	Required	Proposed	Proposed (%)
Available Roof Space (m <sup>2</sup> )		1183.2	
Available Roof Space provided as Green Roof (m <sup>2</sup> and %)	591.6	591.6	50%
Available Roof Space provided as Cool Roof (m <sup>2</sup> and %)	0	0	-
Water Efficiency	Required	Proposed	Proposed (%)
Total landscaped site area (m <sup>2</sup> )			
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m <sup>2</sup> and %)			
Urban Forest : Increase Tree Canopy	Required	Proposed	Proposed (%)
Total number of trees planted (site area x 40% + 66)			
Natural Heritage: Site	Required	Proposed	Proposed (%)
Total number of species planted			
Total number of native species planted and % of total species planted (minimum 50%)			

1 Toronto Green Standard Statistics  
A100 SCALE: NTS

Old Zoning Bylaw 438-86 Gross Floor Area Calculations														
	GCA (sm)		Parking (sm)	RGFA Deductions										GFA (sm) GCA-Deductions
	Condo	Semi-Detached and 3 Townhouses		Loading (sm)	Ramp (sm)	Air Shafts	Mech Riser	Electrical Closet	CACF	Bicycle (sm)	Interior Amenity (sm)	Elevators (sm)	Garbage Chute (sm)	
Level 09	1,236						4	2	1					138
Level 08	1,353						4	2	1		106	25		32
Level 07	1,670						4	2	1			25		32
Level 06	1,707						4	2	1			25		32
Level 05	1,732						4	2	1			25		32
Level 04	1,732						4	2	1			25		32
Level 03	1,732						4	2	1			25		32
Level 02	1,732						4	2	1			25		32
Ground Floor	1,352				172		4	2	0	5	90	247	25	545
Total GCA Excluding Parking	14,246	0												
P1			2,805											
P2			2,805											
P3			2,805											
Total GCA Including Parking			22,661		172		36	18	8	5	90	353	225	907

Unit Breakdown	1B	1B+D	2B	2B+D	3B	Total by Level
Level 09	0	1	3	6		10
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Exterior	1.65	174
Total Required		635

Amenity Space Provided		
	Ground (sm)	Roof (sm)
Interior	247	106
Exterior	224	64
Total Provided		641

Bicycle Parking as per Amended Zoning By-law No. 438-86 & Toronto Green Standard Tier 1			
	Ratio	No. of Condo Units*	Required
Long Term** (Occupant)	0.68	174	119
Short Term (Visitor)	0.07	174	13
Total Required			132

Bicycle Parking Provided		
	Long Term	Short Term
Ground	71	13
P1	59	
P2	0	
P3	0	
Subtotal	130	13
Total Provided		143

Building and Site Statistics		
Site Area (sm) Based on KRCMAR survey site area	5,796	
FSI (Total RGFA/Site Area)	2.29	
Average Unit Size (sm) Total seable/Total units	68	
Garbage Room Size (sm)	88	
Established Grade (m)	169.95	0.00
Proposed Building Height (m)	29.59	0.00
Number of Storeys	9	0

Vehicular Parking Provided				
	Visitor	Occupant	BF Space	Auto-share
Ground		0		2
P1	26	22	3	
P2		64	2	
P3		66	2	
Subtotal	26	152	7	6
Total Provided		184		

Old Zoning Bylaw 438-86 Residential Gross Floor Area Calculations			
Residential gross floor area means the aggregate of the areas of each floor and the space occupied by walls and stairs, above and below grade, of a residential building or the residential portion of a mixed-use building, measured between the exterior faces of the exterior walls of the building or structure, exclusive of the following areas: A) a room or enclosed area, including its enclosing walls within the building or structure above or below grade that is used exclusively for the accommodation of heating, cooling, ventilating, electrical, mechanical (other than escalators) or telecommunications equipment that serves the building; B) loading facilities required by this By-law or any other zoning by-law; C) a part of the building or structure that is used for the parking of motor vehicles or bicycles, storage, residential amenity space or other accessory use, provided the floor level, excluding any access ramp, is at least 0.9 metres below grade; D) above grade residential amenity space required by this By-law; and E) above grade bicycle parking spaces required by this By-law.			

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14025 NTS VT DM  
PROJECT SCALE DRAWN REVIEWED

#### Statistics

A100

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BOUNDARY AND TOPOGRAPHIC SURVEY OF  
ALL OF LOT 1037 AND  
PART OF LOTS 1038, 1041, 1042  
AND  
PART OF GLENGARRY AVENUE  
(STOPPED UP AND CLOSED BY BY-LAW NO. 209-2005, INST. AT815387)  
REGISTERED PLAN 1537  
CITY OF TORONTO

BEARING  
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE  
NORTHERLY LIMIT OF LAWRENCE AVENUE WEST AS SHOWN ON EXPROPRIATION  
PLAN 95426EO HAVING A BEARING OF N73°43'40"E.  
ELEVATION  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO  
CITY OF TORONTO BENCH MARK NO. N75003 HAVING AN ELEVATION  
OF 174.525 METRES.

LEGEND  
■ DENOTES SURVEY MONUMENT FOUND  
□ DENOTES SURVEY MONUMENT PLANTED  
SIB DENOTES STANDARD IRON BAR  
IB DENOTES IRON BAR  
(M) DENOTES MEASURED  
(S) DENOTES SET  
(OU) DENOTES ORIGIN UNKNOWN  
(WT) DENOTES WITNESS  
(RP) DENOTES REGISTERED PLAN 1537  
(P1) DENOTES PLAN OF SURVEY BY SPEIGHT VAN NOSTRAND WARD  
AND ANDERSON, O.L.S. DATED MARCH 28, 1959  
(P2) DENOTES PLAN RS-620  
(P3) DENOTES PLAN RD-130  
(P4) DENOTES PLAN OF SURVEY BY W. S. GIBSON AND SONS LIMITED, O.L.S.  
DATED JULY 10, 1970 AND REVISED SEPTEMBER 3, 1971  
(P5) DENOTES PLAN 63R-1101  
(P6) DENOTES PLAN 66R-21637  
(P7) DENOTES SURVEYORS REAL PROPERTY REPORT BY ERTL SURVEYORS,  
O.L.S. DATED JANUARY 14, 2013  
(P8) DENOTES SURVEYORS REAL PROPERTY REPORT BY ROWAN-STANUJ LTD.  
O.L.S. DATED OCTOBER 20, 2008  
(P9) DENOTES BUILDING LOCATION SURVEY BY BONETT AND NORGROVE  
LIMITED, O.L.S. DATED JANUARY 8, 1985  
(P10) DENOTES PLAN OF SURVEY BY BROWNE, CAVELL, AND ASSOCIATES,  
O.L.S. DATED DECEMBER 6, 1966, REVISED APRIL 11, 1967,  
(1215) DENOTES ERTL SURVEYORS, O.L.S.  
(WTP) DENOTES METRO TRANSPORTATION DEPARTMENT  
CLF DENOTES CHAIN LINK FENCE  
CPAD DENOTES CONCRETE PAD  
CWB DENOTES CONCRETE RETAINING WALL  
PCRB DENOTES PRE-CAST CONCRETE CURB  
WIF DENOTES WROUGHT IRON FENCE  
R DENOTES ROUND  
(TC) DENOTES TOP OF CURB  
(BC) DENOTES BOTTOM OF CURB  
X DENOTES FENCE  
--- DENOTES GUARD RAIL  
--- DENOTES HYDRO SERVICE (OVERHEAD)  
--- DENOTES BELL SERVICE (OVERHEAD)

DENOTES EXISTING GRADE ELEVATION  
DENOTES BOREHOLE  
DENOTES MONITORING WELL  
DENOTES BELL POLE  
DENOTES BOLLARD  
DENOTES CATCH BASIN  
DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER  
DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER  
DENOTES DOWN GUY ANCHOR  
DENOTES FIRE HYDRANT  
DENOTES GAS METER  
DENOTES GAS VALVE  
DENOTES HYDRO HAND WELL  
DENOTES HYDRO POLE  
DENOTES LAMP STANDARD  
DENOTES HYDRO POLE WITH LIGHT STANDARD  
DENOTES MAIL BOX  
DENOTES MANHOLE  
DENOTES POST  
DENOTES SHRUB  
DENOTES SIGN  
DENOTES WATER VALVE

DENOTES HANDICAP PARKING  
TOTAL SITE AREA = 0.5370+0.0396 = 0.5766 ha  
MUNICIPAL ADDRESS  
No. 250 LAWRENCE AVENUE WEST, TORONTO  
No. 219 GLENGARRY AVENUE, TORONTO

MAIN BUILDING  
ENTRANCE  
BUILDING ENTRANCE (SECONDARY)  
BUILDING EXIT  
OVERHEAD DOOR  
TYPE "G" LOADING BAY

LINE OF EXISTING BUILDING  
LINE OF PROPOSED BUILDING  
LINE OF PROPOSED BUILDING AT GROUND FLOOR  
LINE OF CONCEALED PORTION OF PROPOSED BUILDING  
PROPERTY LINE  
LINE OF EXTENT OF PROPOSED UNDERGROUND  
PARKING GARAGE  
FIRE ROUTE

LINE OF EXISTING CULVERT  
LINE OF PROPOSED CULVERT  
LINE OF LONG-TERM STABLE SLOPE CREST POSITION (EXISTING COND.)  
LINE OF EROSION ACCESS ALLOWANCE  
LINE OF PARKLAND DEDICATION  
LINE OF EXISTING LSSC POSITION AND 6M/10M SETBACKS  
LINE OF RAVINE/NATURAL FEATURE PROTECTION BY-LAW LIMIT

PROPOSED GRADE  
DRIVE ASABLE TRAFFIC FLOW DIRECTION

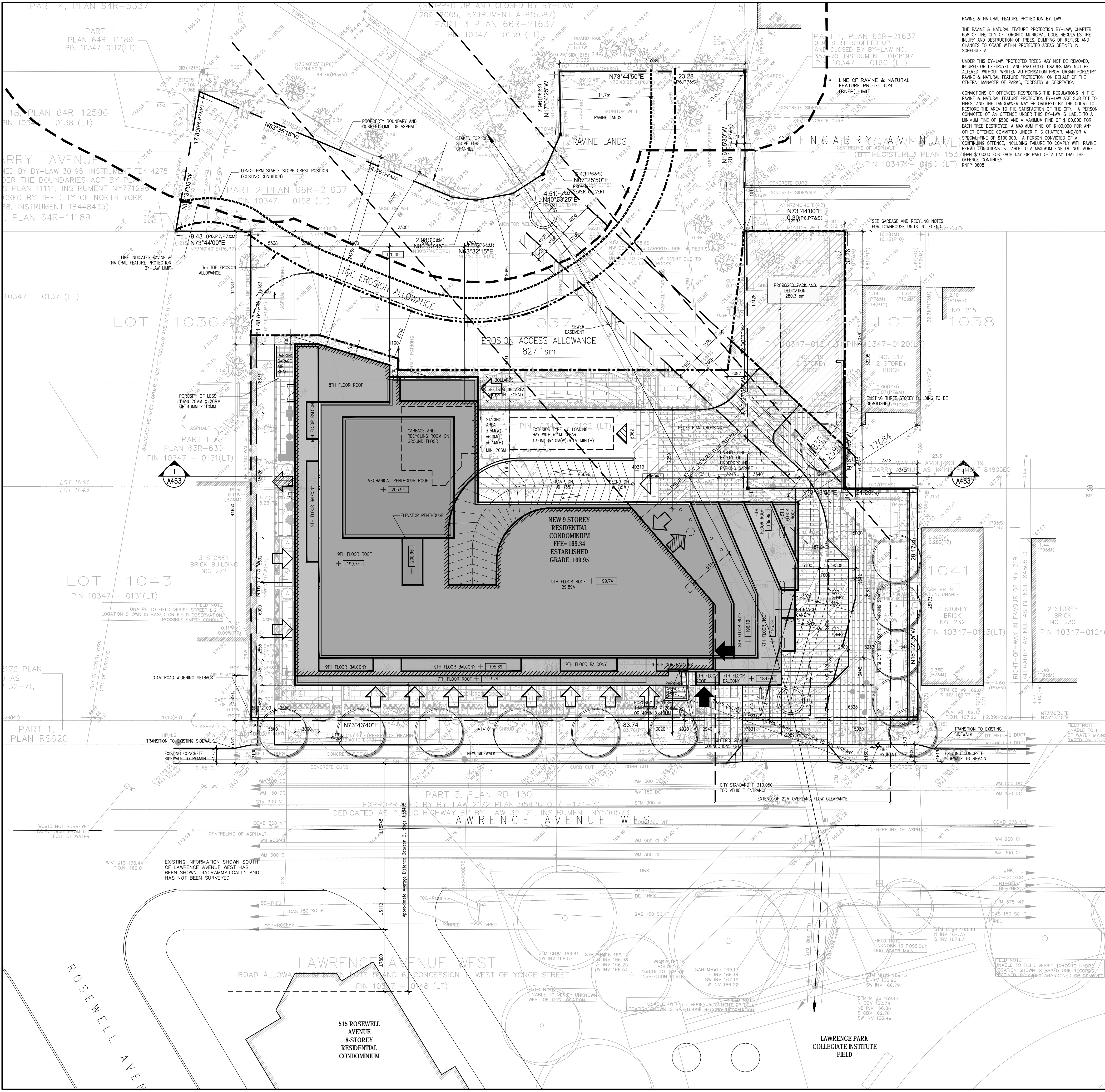
### 3 Survey Notes and Legend

A101 SCALE: NTS



### 2 Key Plan

A101 SCALE: 1:2000



RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, CHAPTER  
658 OF THE CITY OF TORONTO MUNICIPAL CODE REGULATES THE  
INJURY AND DESTRUCTION OF TREES, CHANNING OF REFUGE AND  
CHANGES TO GRADE WITHIN PROTECTED AREAS DEFINED IN  
SCHEDULE A.  
UNDER THIS BY-LAW PROTECTED TREES MAY NOT BE REMOVED,  
INJURED OR DESTROYED, AND PROTECTED GRADES MAY NOT BE  
ALTERED, WITHOUT WRITTEN AUTHORIZATION FROM URBAN FORESTRY  
RAVINE & NATURAL FEATURE PROTECTION, ON BEHALF OF THE  
GENERAL MANAGER OF PARKS, FORESTRY & RECREATION.  
CONVICTIONS OF OFFENCES RESPECTING THE REGULATIONS IN THE  
RAVINE & NATURAL FEATURE PROTECTION BY-LAW ARE SUBJECT TO  
FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO  
RESTORE THE AREA TO THE SATISFACTION OF THE CITY. A PERSON  
CONVICTED OF AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A  
MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$100,000 FOR ANY  
EACH TREE DESTROYED. A MAXIMUM FINE OF \$100,000 FOR ANY  
OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A  
SPECIAL FINE OF \$100,000. A PERSON CONVICTED OF A  
CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH RAVINE  
PERMIT CONDITIONS IS LIABLE TO A MAXIMUM FINE OF NOT MORE  
THAN \$100,000 FOR EACH DAY OR PART OF A DAY THAT THE  
OFFENCE CONTINUES.  
RNP 0658

LEGEND  
GARBAGE AND RECYCLING NOTES:  
BEFORE SOLID WASTE COLLECTION SERVICES ARE TO BEGIN, THE  
CITY WILL NEED TO BE PROVIDED WITH: A LETTER CERTIFIED BY A  
PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION  
VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED  
STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE) THE  
STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION  
VEHICLE (35,000 KG) AND CONFORMS TO THE FOLLOWING:  
A) DESIGN CODE - ONTARIO BUILDING CODE  
B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO  
BUILDING CODE REQUIREMENTS  
C) IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO  
15KM/HR AND 30% FOR HIGHER SPEEDS.  
TYPE G LOADING SPACE  
- 13.0M X 4.0M  
- 200MM CONCRETE PAD WITH REINFORCED STEEL +/- 2%  
BINS FOR THE COLLECTION DRIVER AND ACT AS A FLAGMAN  
WHEN THE TRUCK IS REVERSING.  
- ALL ACCESS DRIVEWAYS TO BE USED BY COLLECTION VEHICLE  
WILL BE LEVEL (+/- 1.8%), AND HAVE A MIN. VERTICAL  
CLEARANCE OF 4.4M THROUGHOUT.

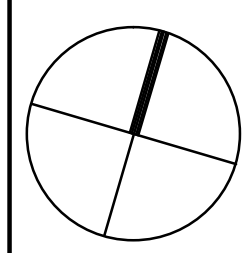
STAGING AREA  
CONCRETE PAD WILL BE CONSTRUCTED OF 200MM REINFORCED  
CONCRETE AND HAVE A GRADE NO MORE THAN 2%  
STAGING AREA HAS A 6.1M HEIGHT CLEARANCE AS PER  
DEVELOPMENT & ENGINEERING COMMENT, SECTION 1.30,  
DATED MAY 26, 2015.

PER THE INFORMATION PROVIDED TO STAFF BY THE OWNER, STAFF  
HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL  
COMPRISE ONE STANDARD CONDOMINIUM CORPORATION UPON  
COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY  
SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR CONDOMINIUM  
APPROVAL OR FOR ANY FORM OF LAND DIVISION FOR THE  
DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION,  
DIFFERENT SERVING CONNECTIONS, INCLUDING ALL ASSOCIATED  
STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED  
PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE  
COST OF THE CONDOMINIUM APPLICANT.

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t 416 598 1240 www.quadrangle.ca

250 Lawrence Avenue West  
for  
2418832 Ontario Inc.  
2419732 Ontario Inc.

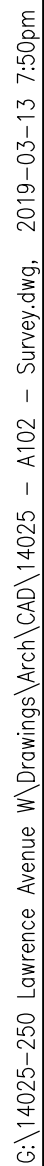
14025 1:250 VT DM  
PROJECT SCALE DRAWN REVIEWED

### Site Plan

## A101

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1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 [www.krcmar.ca](http://www.krcmar.ca)

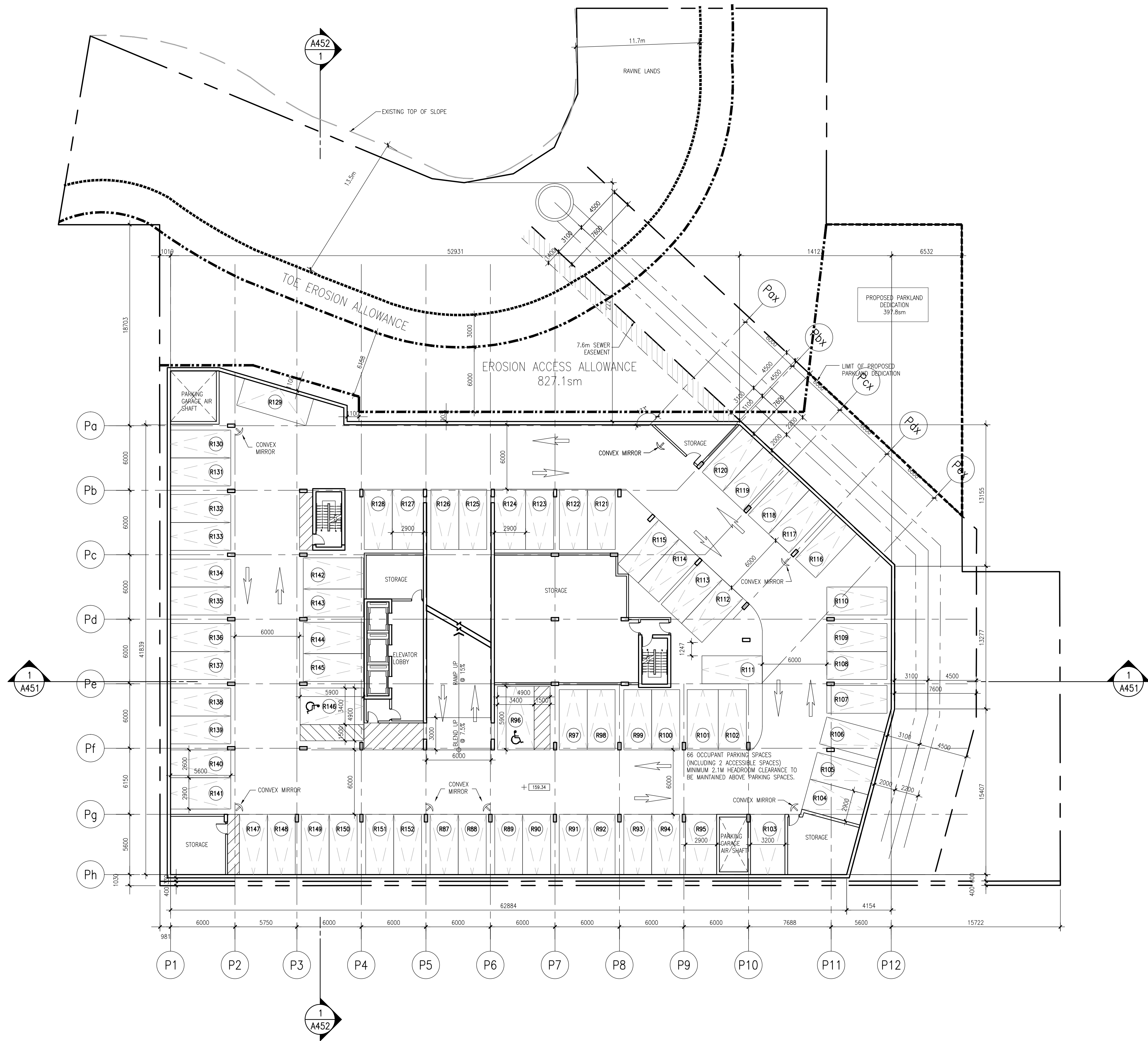
K R C M A R

for checking and verifying all levels and dimensions and shall report all

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G:\14025-250 Lawrence Avenue W\Drawings\Arch\04\14025 - A151 - P3.dwg, 2019-03-13 7:50pm



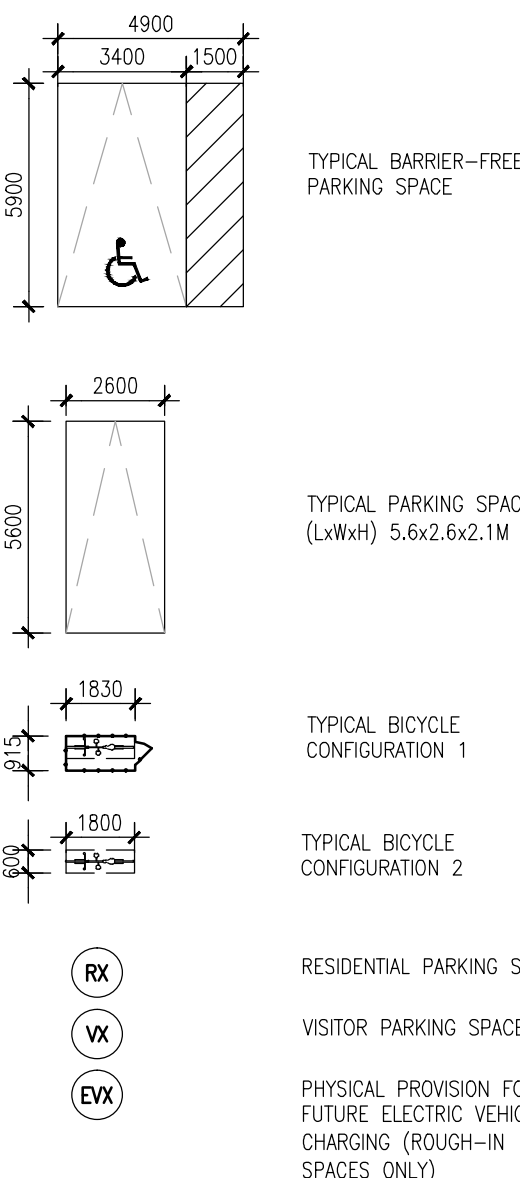
RAVINE & NATURAL FEATURE PROTECTION BY-LAW

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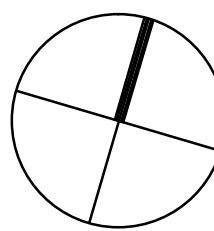
LEGEND:



REVISION RECORD

2019-03-15	Issued for SPA Resubmission
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2015-02-17	Issued for Coordination
2014-12-15	Issued for Coordination

ISSUE RECORD



**Quadrangle**

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250 Lawrence Avenue West  
for  
2418832 Ontario Inc.  
2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

Level P3 Floor Plan

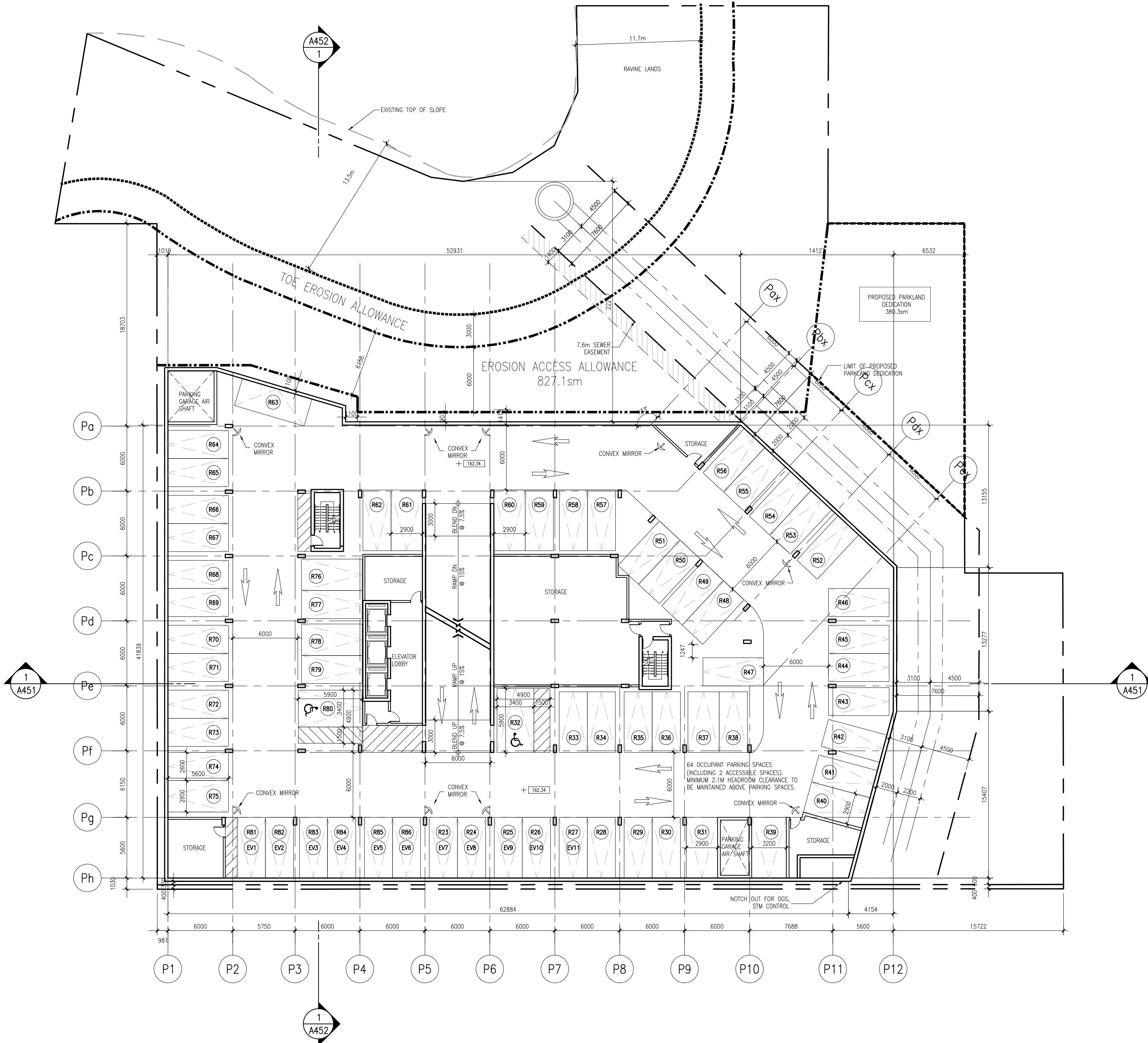
**A151**

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1 Level P3 Floor Plan  
A151 SCALE: 1:200



G:\14025-250 Lawrence Avenue W\Drawings\Arch\04\14025 - A152 - P2.dwg, 2019-03-13 7:50pm



RAVINE & NATURAL FEATURE PROTECTION BY-LAW

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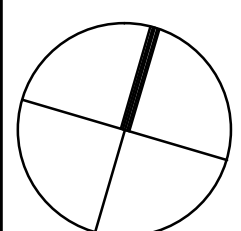
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RNFP 0608

LEGEND:

- TYPICAL BARRIER-FREE PARKING SPACE
- TYPICAL PARKING SPACE (LxWxH) 5.6x2.6x2.1M
- TYPICAL BICYCLE CONFIGURATION 1
- TYPICAL BICYCLE CONFIGURATION 2
- RESIDENTIAL PARKING SPACE
- VISITOR PARKING SPACE
- PHYSICAL PROVISION FOR FUTURE ELECTRIC VEHICLE CHARGING (ROUGH-IN SPACES ONLY)

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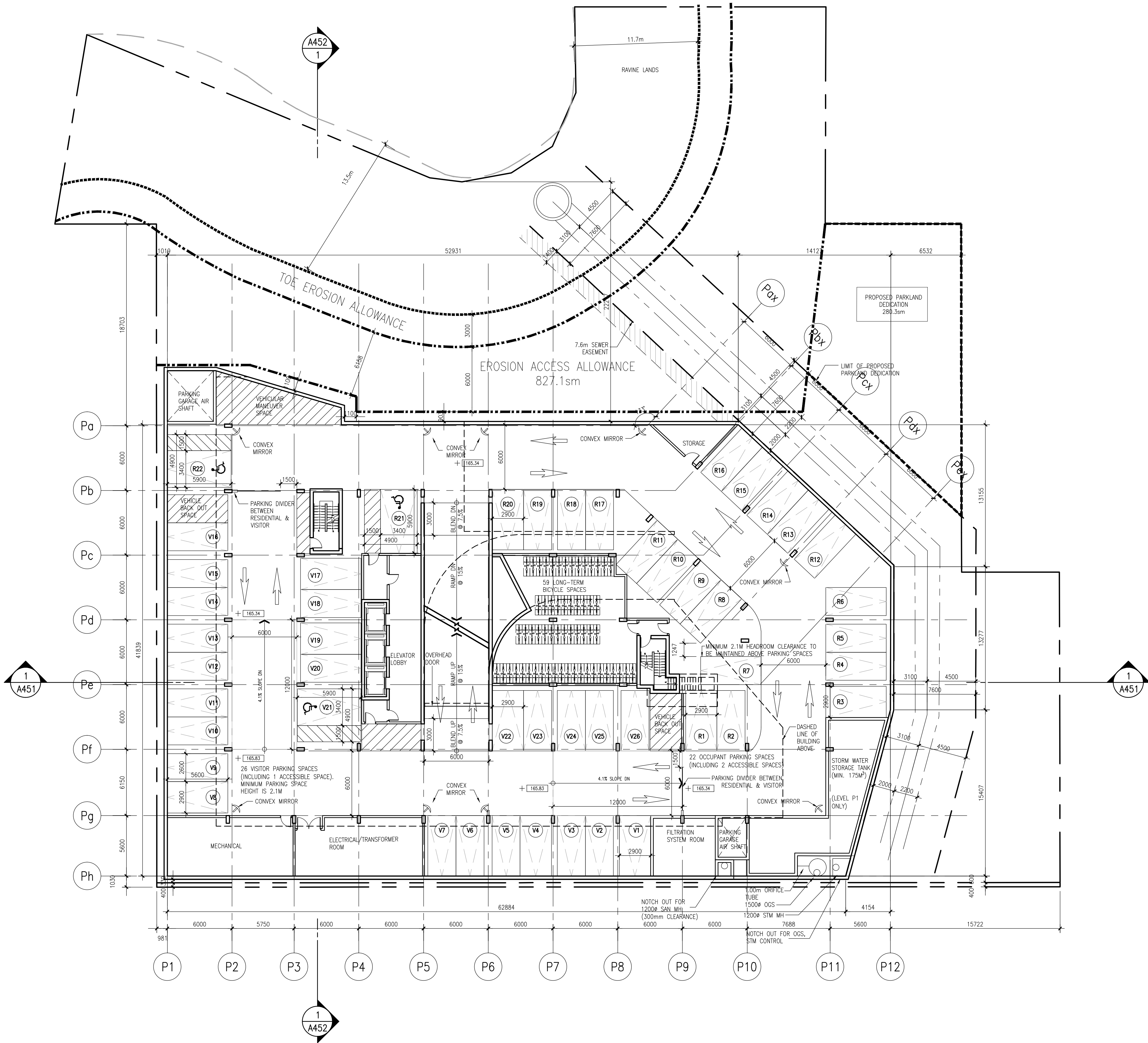
14025	1:200	VT	DM
PROJECT	SCALE	DRAWN	REVIEWED

Level P2 Floor Plan

A152

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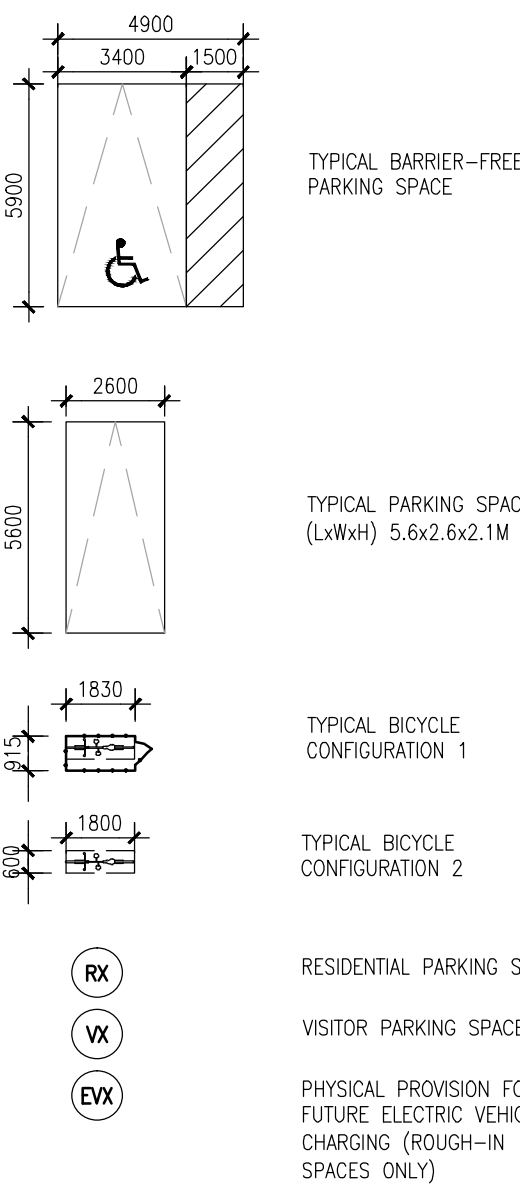
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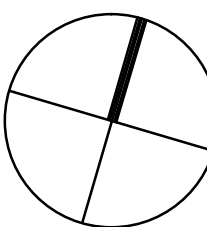
LEGEND:



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2418832 Ontario Inc.  
2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

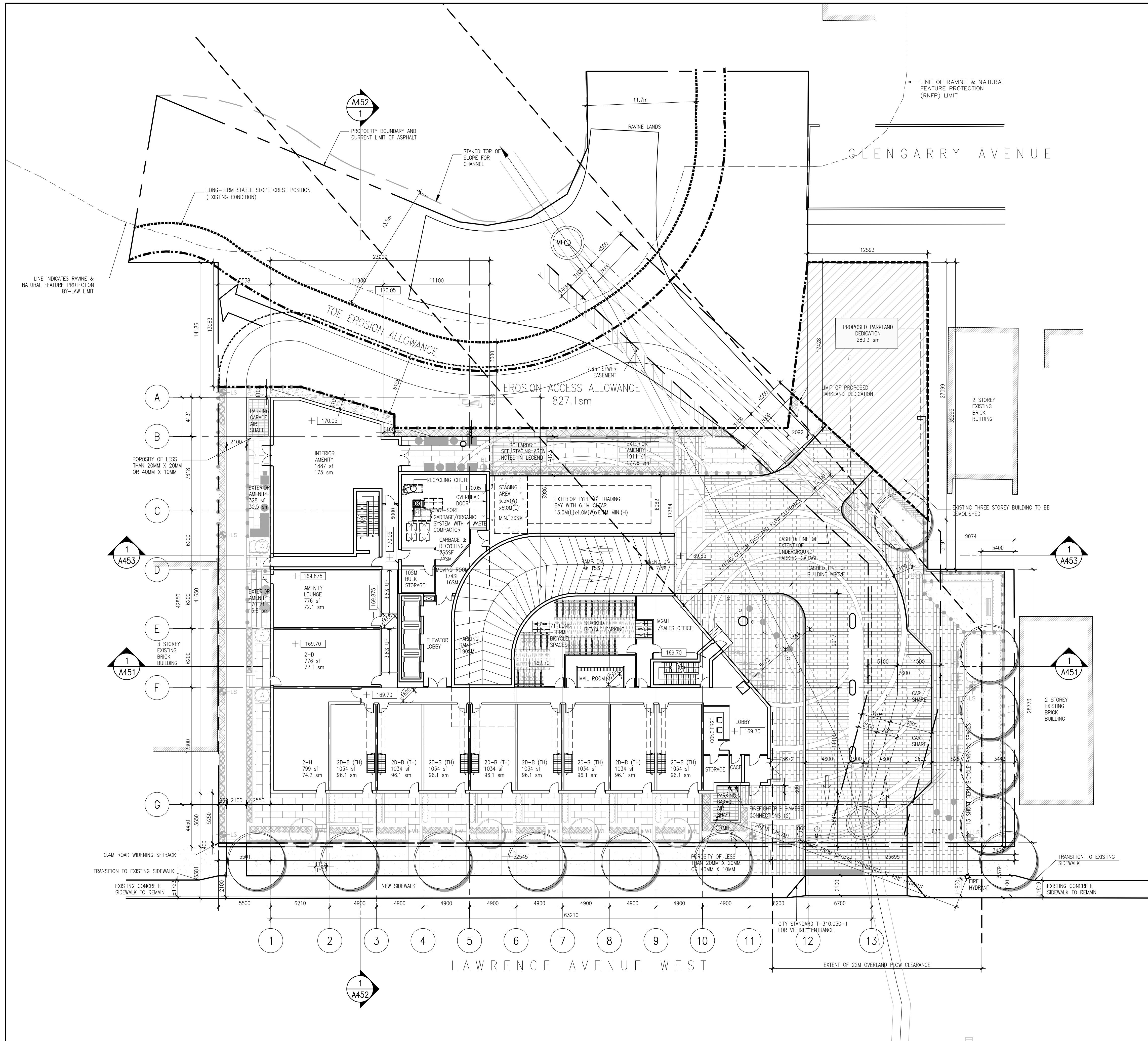
Level P1 Floor Plan

**A153**

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#### RAVINE & NATURAL FEATURE PROTECTION BY-LAW

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RNP 0608

#### LEGEND

##### GARBAGE AND RECYCLING NOTES:

BEFORE SOLID WASTE COLLECTION SERVICES ARE TO BEGIN, THE CITY WILL NEED TO BE PROVIDED WITH: A LETTER CERTIFIED BY A PROFESSIONAL ENGINEER THAT IN ALL CASES WHERE A COLLECTION VEHICLE IS REQUIRED TO DRIVE ONTO OR OVER A SUPPORTED STRUCTURE (SUCH AS AN UNDERGROUND PARKING GARAGE) THE STRUCTURE CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE (35,000 KG) AND CONFORMS TO THE FOLLOWING:  
A) DESIGN CODE - ONTARIO BUILDING CODE  
B) DESIGN LOAD - CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS  
C) IMPACT FACTOR - 5% FOR MAXIMUM VEHICULAR SPEEDS TO 15KM/HR AND 30% FOR HIGHER SPEEDS.

##### TYPE G LOADING SPACE

- 13.0M X 4.0M,
- 200MM CONCRETE PAD WITH REINFORCED STEEL +/- 2%
- TRAINED ON-SITE MEMBER WILL BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING,
- ALL ACCESS DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL BE LEVEL (+/- 1.8%), AND HAVE A MIN. VERTICAL CLEARANCE OF 4.4M THROUGHOUT.

##### STAGING AREA

- STAGING PAD WILL BE CONSTRUCTED OF 200MM REINFORCED CONCRETE AND HAVE A GRADE NO MORE THAN 2%.
- STAGING AREA HAS A 6.1M HEIGHT CLEARANCE AS PER DEVELOPMENT & ENGINEERING COMMENT, SECTION 1.30, DATED MAY 26, 2015.

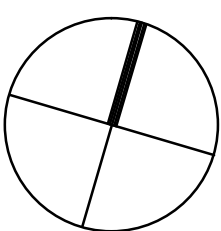
PER THE INFORMATION PROVIDED TO STAFF BY THE OWNER, STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE ONE STANDARD CONDOMINIUM CORPORATION UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR CONDOMINIUM APPROVAL OR FOR ANY FORM OF LAND DIVISION FOR THE DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST OF THE CONDOMINIUM APPLICANT.

- LONG-TERM STABLE SLOPE CREST POSITION (EXISTING CONDITION)
- EROSION ACCESS ALLOWANCE BOUNDARY

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#### ISSUE RECORD



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250 Lawrence Avenue West  
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2418832 Ontario Inc.  
2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

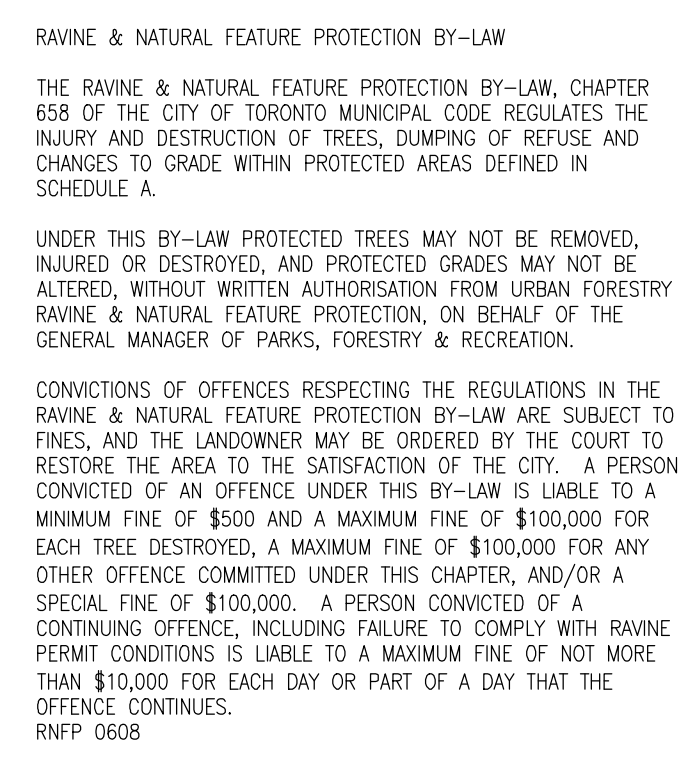
Ground Floor Plan

# A201

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1 Ground Floor Plan  
A201 SCALE: 1:200





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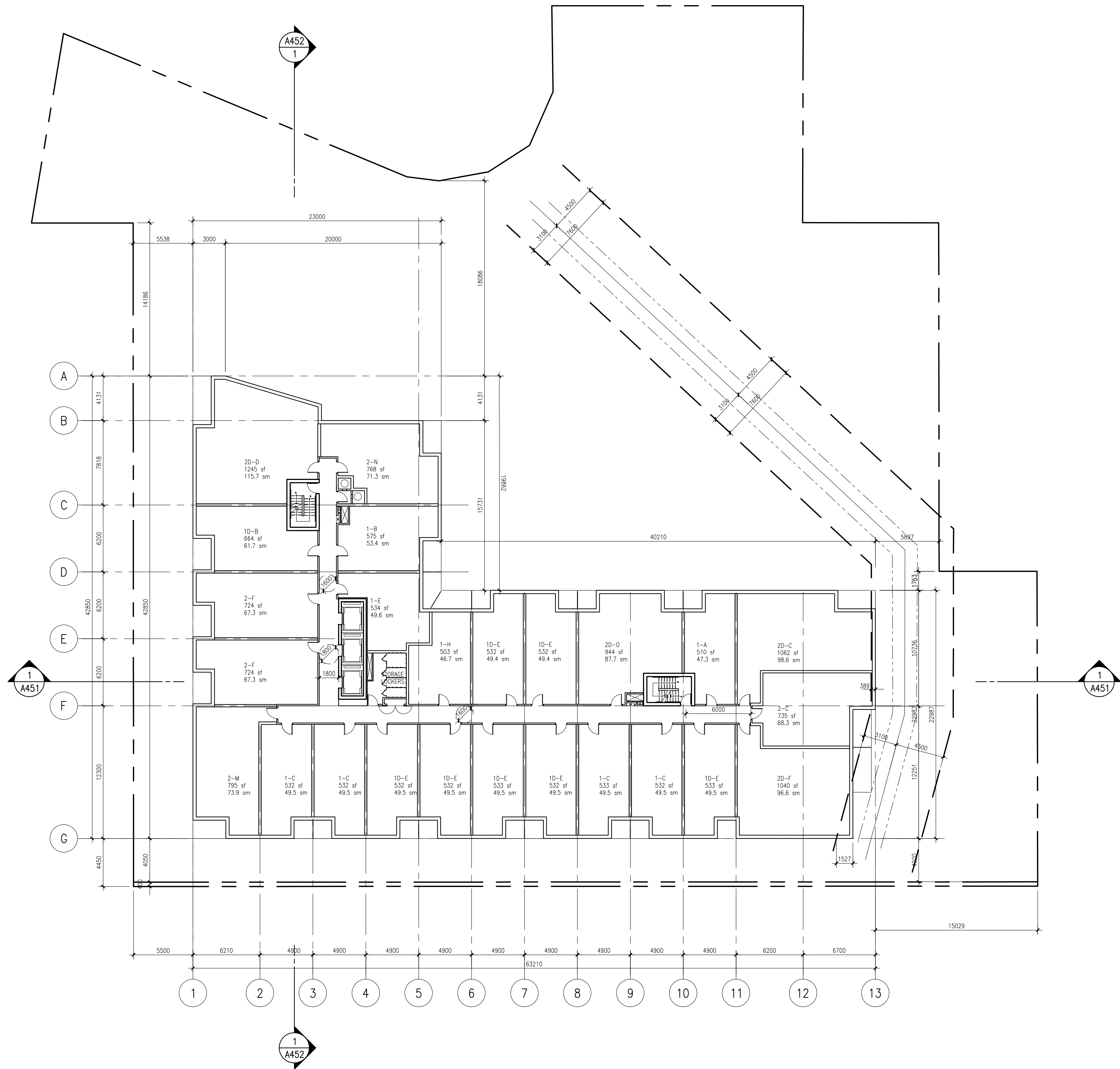


A202

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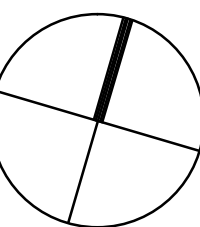
RNFP 0608

- POTENTIAL 3 BEDROOM UNITS
- OPENING IN STRUCTURAL WALL FOR POTENTIAL 3-BEDROOM UNITS

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PROJECT SCALE DRAWN REVIEWED

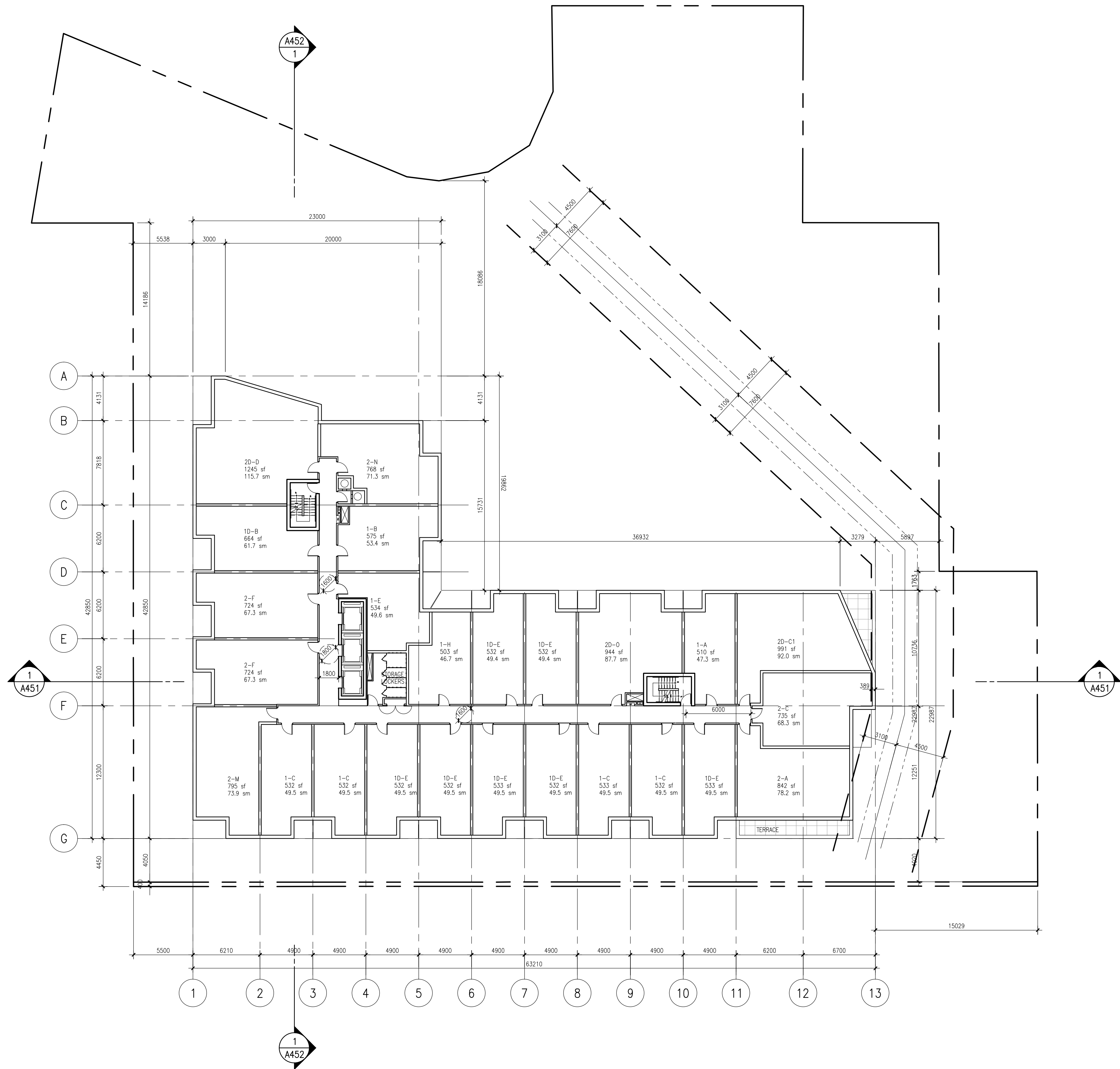
Levels 3-5 Floor Plans

**A203**

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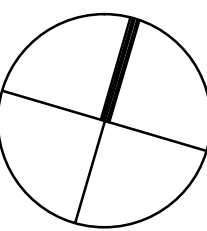
RNFP 0608

- POTENTIAL 3 BEDROOM UNITS
- OPENING IN STRUCTURAL WALL FOR POTENTIAL 3-BEDROOM UNITS

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2419732 Ontario Inc.

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PROJECT SCALE DRAWN REVIEWED

Level 6 Floor Plan

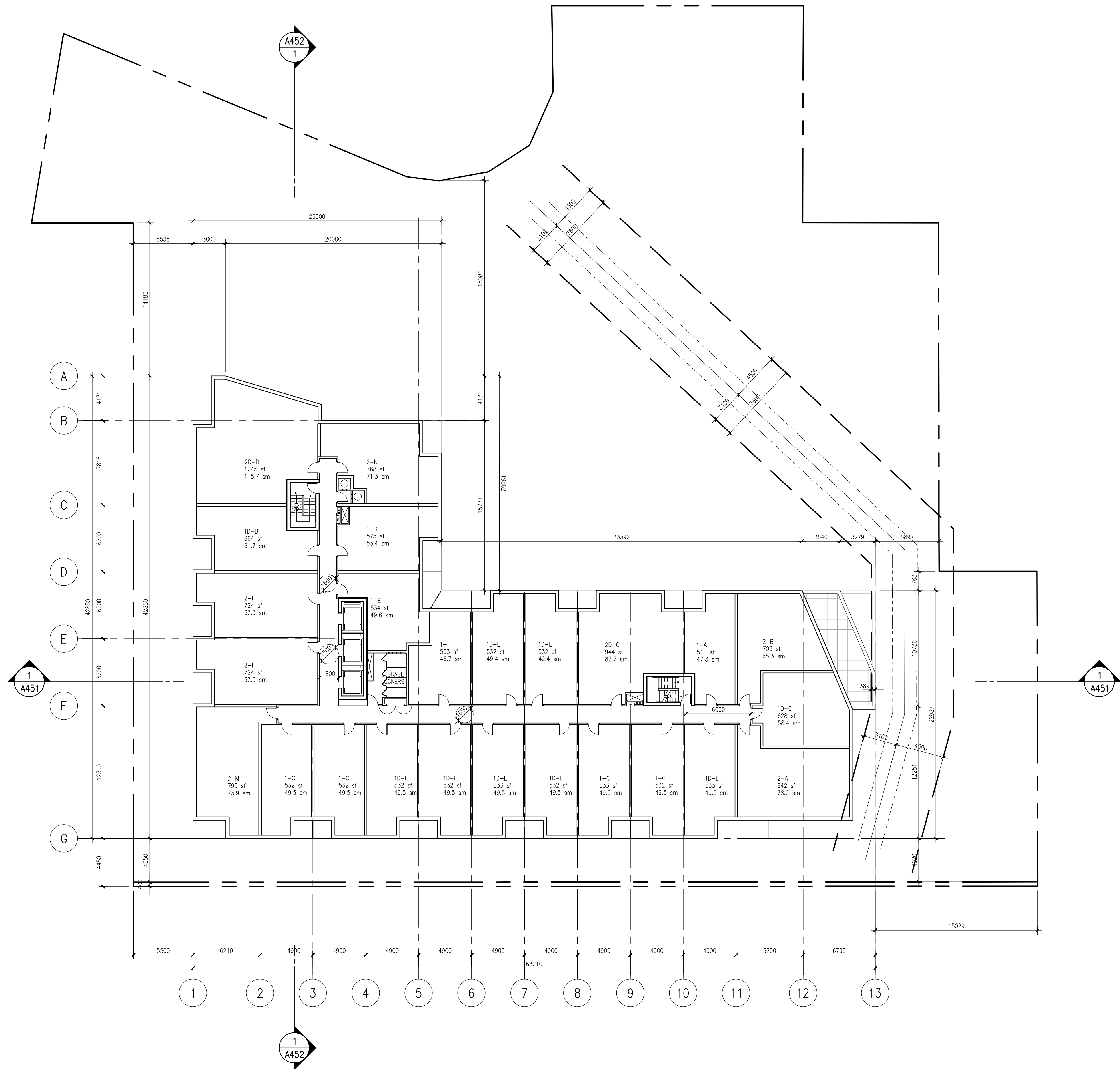
**A206**

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1 Level 6 Floor Plan  
A206 SCALE: 1:200



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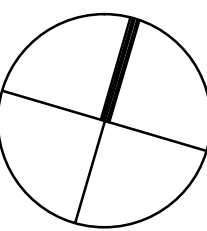
RNFP 0608

- POTENTIAL 3 BEDROOM UNITS
- OPENING IN STRUCTURAL WALL FOR POTENTIAL 3-BEDROOM UNITS

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Level 7 Floor Plan

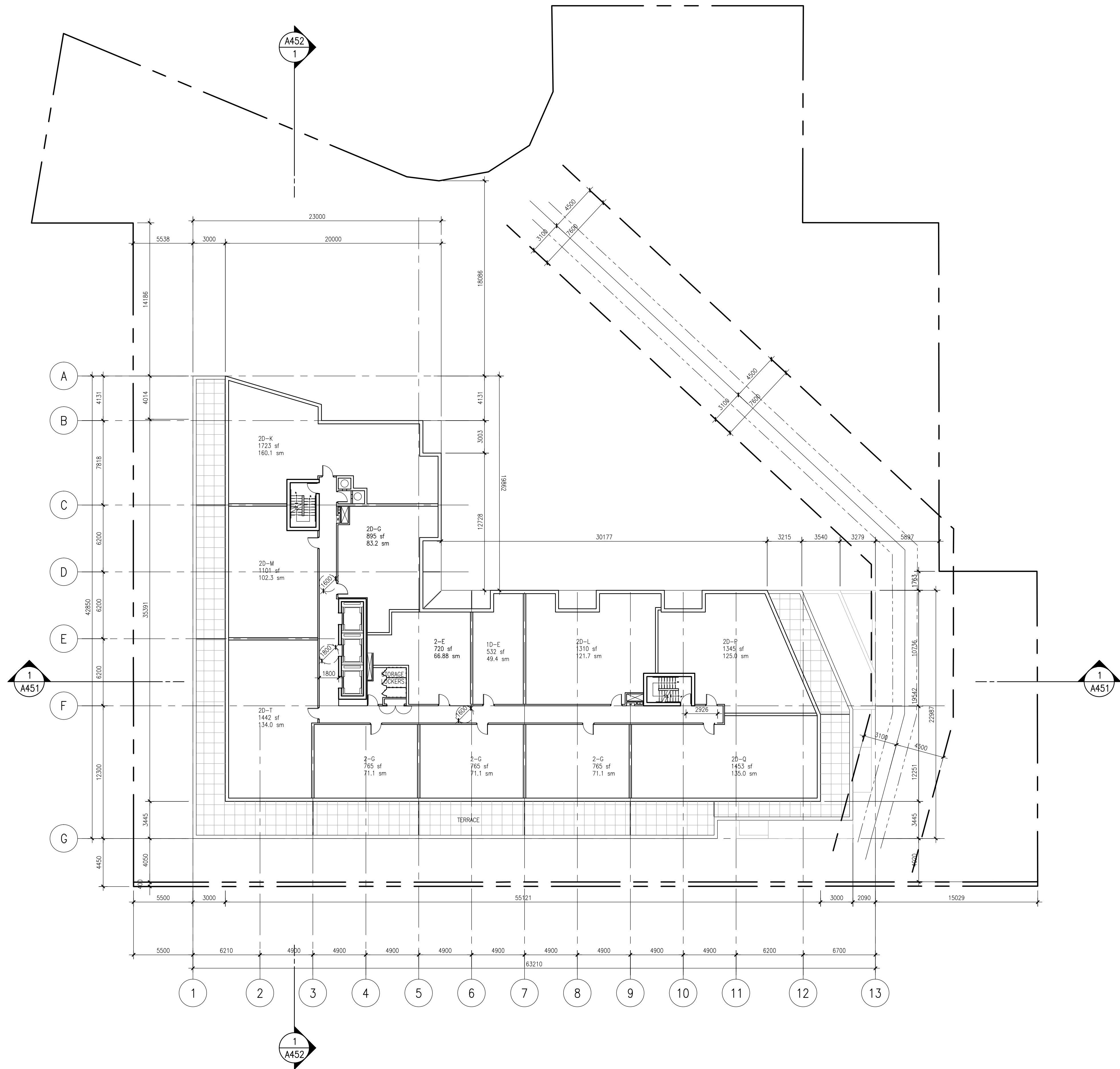
A207

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1 Level 7 Floor Plan  
A207 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A208 - 8 to 9.dwg, 2019-03-13 7:50pm



RAVINE & NATURAL FEATURE PROTECTION BY-LAW

THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, CHAPTER 658 OF THE CITY OF TORONTO MUNICIPAL CODE REGULATES THE INJURY AND DESTRUCTION OF TREES, DUMPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTED AREAS DEFINED IN SCHEDULE A.

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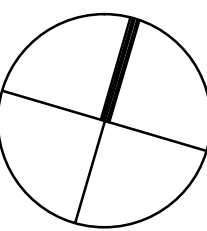
RNFP 0608

- POTENTIAL 3 BEDROOM UNITS
- OPENING IN STRUCTURAL WALL FOR POTENTIAL 3-BEDROOM UNITS

REVISION RECORD

2019-03-15	Issued for SPA Resubmission
2018-02-21	Issued for OMB (OPA, ZBA, SPA)
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2015-02-17	Issued for Coordination
2014-12-15	Issued for Coordination

ISSUE RECORD



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2418832 Ontario Inc.  
2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

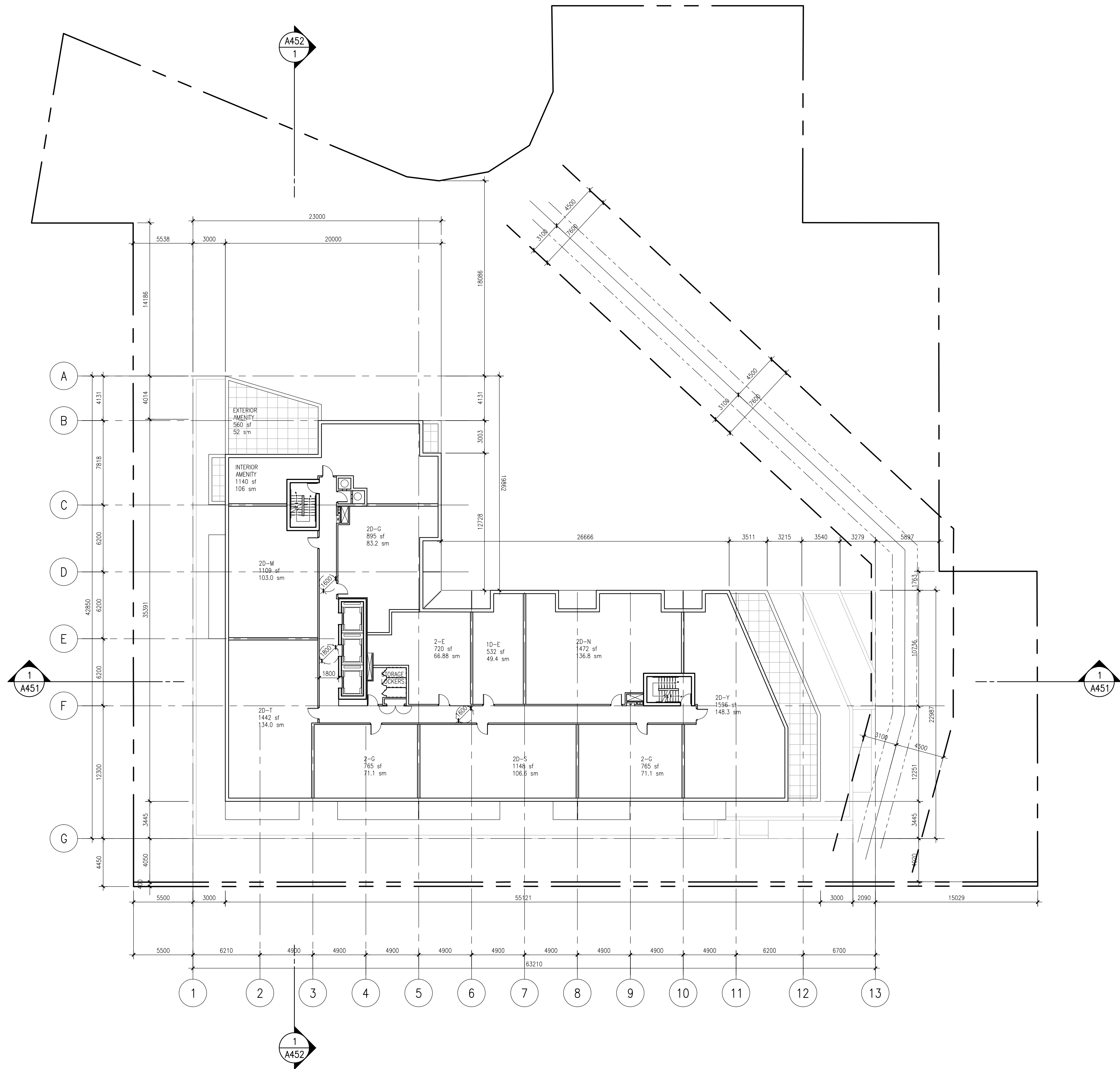
Level 8 Floor Plan

A208

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C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A209 - 8 to 9.dwg, 2019-03-13 7:50pm



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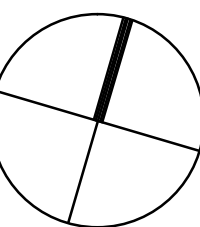
RNFP 0608

- POTENTIAL 3 BEDROOM UNITS
- OPENING IN STRUCTURAL WALL FOR POTENTIAL 3-BEDROOM UNITS

REVISION RECORD

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2014-12-15	Issued for Coordination

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PROJECT SCALE DRAWN REVIEWED

Level 9 Floor Plan

A209

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RAVINE & NATURAL FEATURE PROTECTION, ON BEHALF OF THE  
GENERAL MANAGER OF PARKS, FORESTRY & RECREATION.

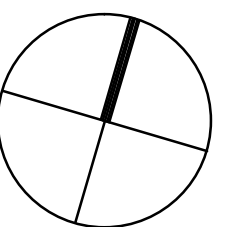
CONVICTIONS OF OFFENCES RESPECTING THE REGULATIONS IN THE  
RAVINE & NATURAL FEATURE PROTECTION BY-LAW ARE SUBJECT TO  
FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO  
REPAIR DAMAGE TO THE SATISFACTION OF THE COURT. A PERSON  
CONVICTED OF AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A  
MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$100,000 FOR  
ANY TREE DESTROYED, A MAXIMUM FINE OF \$100,000 FOR ANY  
OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A  
SPECIAL FINE OF \$100,000. A PERSON CONVICTED OF A  
CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH A  
PERMIT CONDITIONS, IS LIABLE TO A MAXIMUM FINE OF NOT MORE  
THAN \$10,000 FOR EACH DAY OR PART OF A DAY THAT THE  
OFFENCE CONTINUES.

RNPF 0608



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2419732 Ontario Inc.

14025	1:200	VT	DM
PROJECT	SCALE	DRAWN	REVIEWED

## Roof and Mechanical Penthouse Floor Plan

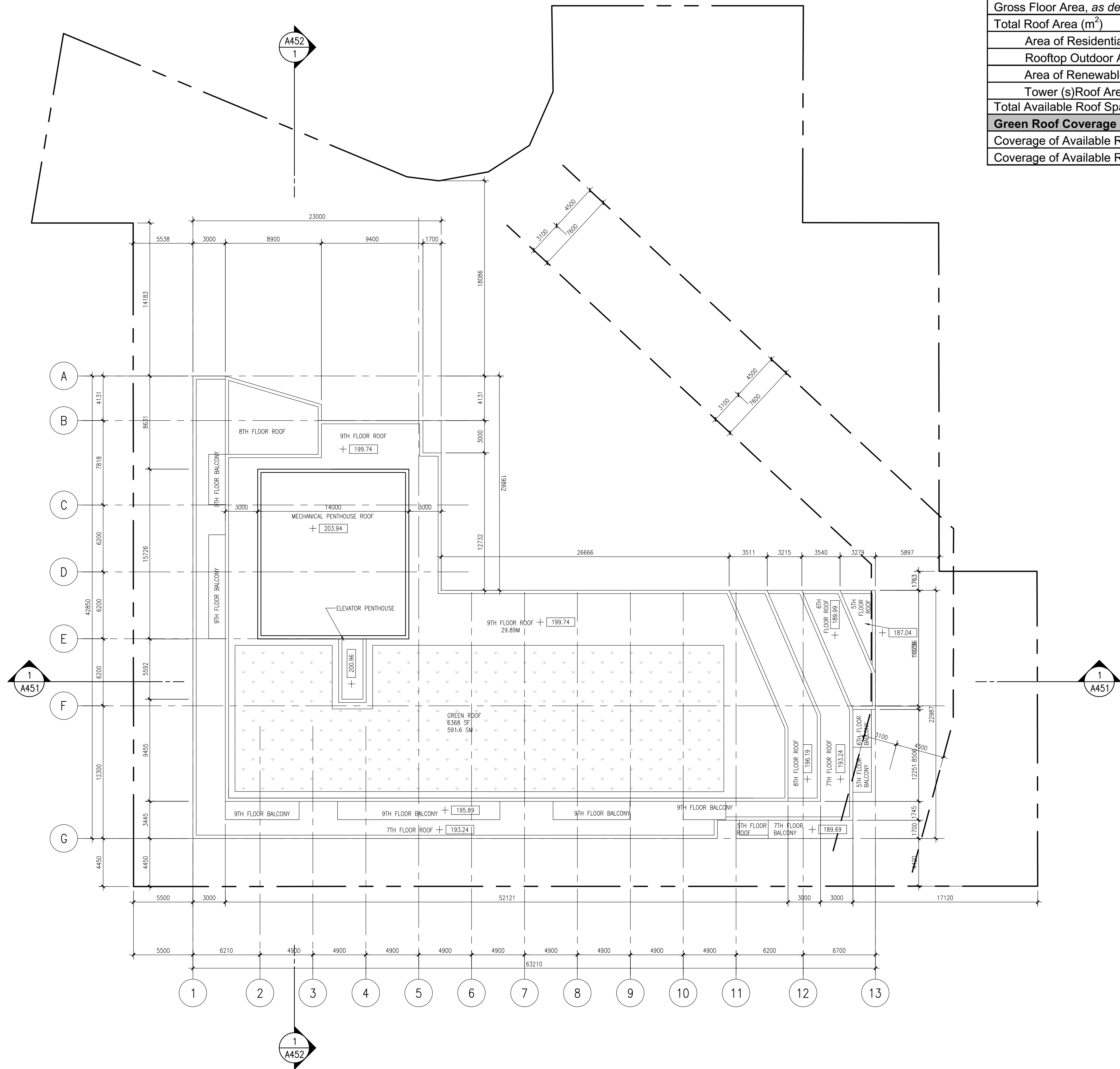
A210

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G:\14025-250 Lawrence Avenue W\Drawings\Arch\CAD\14025 - A213 - MP.dwg, 2019-03-13 7:50pm

1 Roof and Mechanical Penthouse Floor Plan  
A213 SCALE: 1:200





## Green Roof Statistics

Available Roof Space Calculation		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )		15847
Total Roof Area (m <sup>2</sup> )		1670.1
Area of Residential Private Terraces (m <sup>2</sup> )		440.2
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )		46.7
Area of Renewable Energy Devices (m <sup>2</sup> )		0
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>		0
Total Available Roof Space (m <sup>2</sup> )		1183.2
Green Roof Coverage		Required
Coverage of Available Roof Space (m <sup>2</sup> )		591.6
Coverage of Available Roof Space (%)		50%

1 Green Roof By-law  
A214 SCALE: NTS

### RAVINE & NATURAL FEATURE PROTECTION BY-LAW

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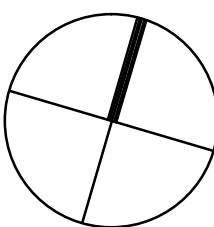
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RNFP 0608

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PROJECT SCALE DRAWN REVIEWED

Roof Plan of Mechanical  
Penthouse

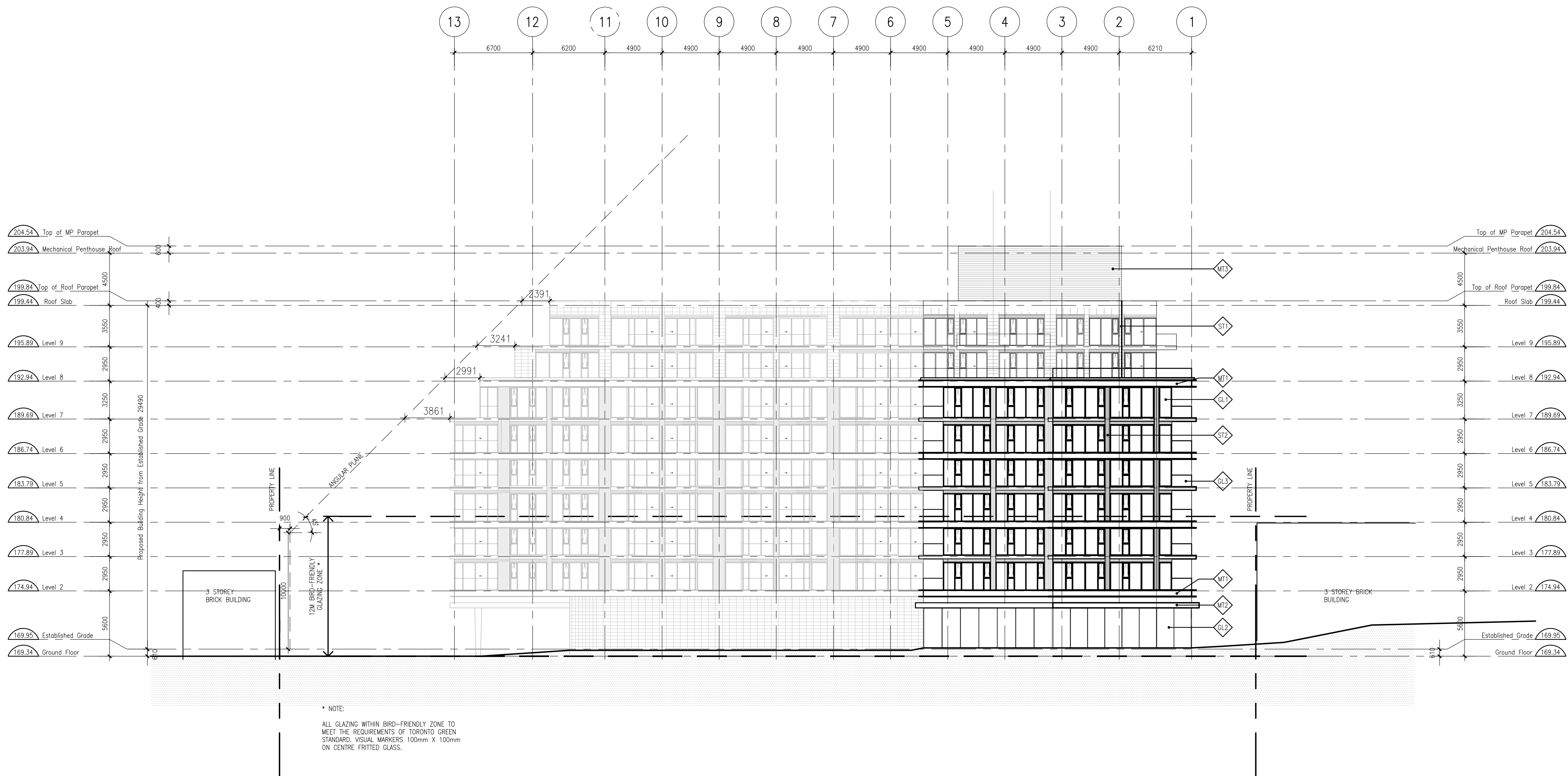
**A211**

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2 Roof Plan of Mechanical Penthouse  
A214 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A401 - Elevations.dwg, 2019-03-13 7:50pm



LEGEND:

- GL1 VISION GLASS (IGU) WINDOW WALL SYSTEM
- GL2 VISION GLASS (IGU) CURTAIN WALL SYSTEM
- GL3 GLASS GUARD - CLEAR
- MT1 METAL PANEL - BRONZE COLOUR
- MT2 FEATURE METAL PANEL - BRONZE COLOUR
- MT3 METAL PANEL - DARK BRONZE COLOUR
- ST1 STONE/FIBRE CEMENT PANEL - OFF-WHITE
- ST2 STONE/FIBRE CEMENT PANEL - DARK GREY
- C1 EXPOSED CONCRETE

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2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

North Elevation

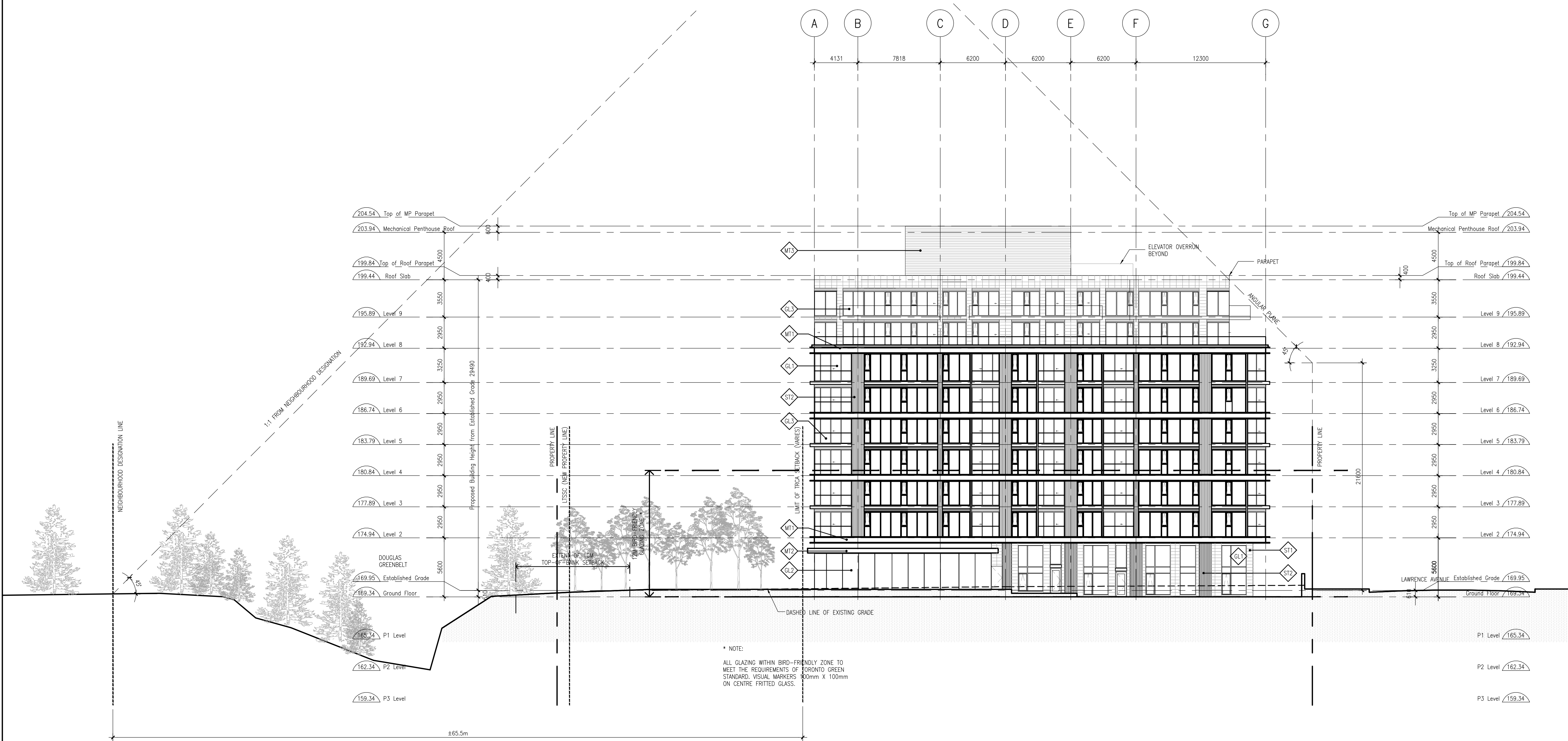
A401

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1 North Elevation  
A401 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A401 - Elevations.dwg, 2019-03-13 7:51pm



LEGEND:

- GL1 VISION GLASS (IGU) WINDOW WALL SYSTEM
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14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

West Elevation

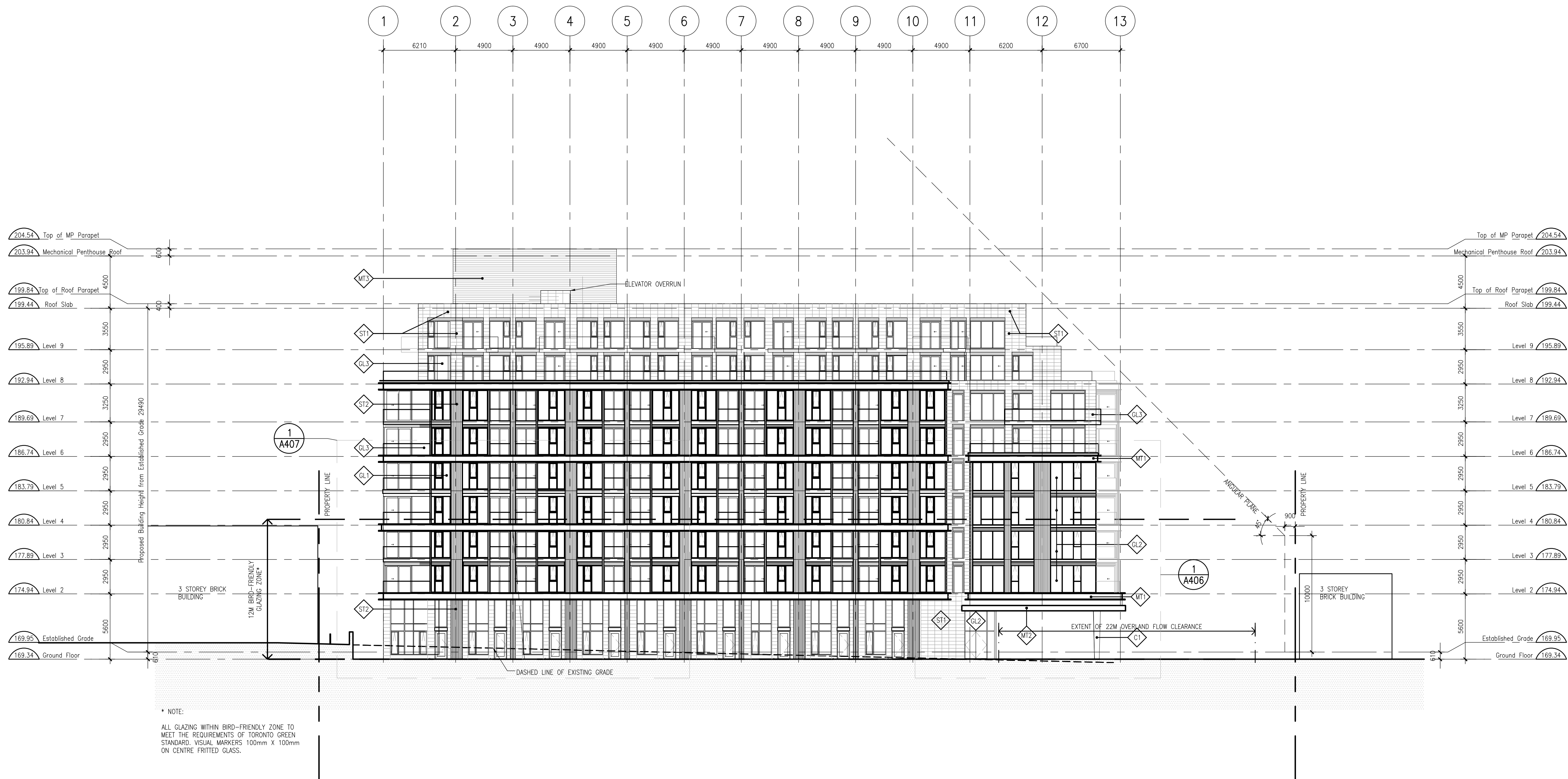
**A402**

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1 West Elevation  
A402 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A401 - Elevations.dwg, 2019-03-13 7:51pm



LEGEND:

- GL1 VISION GLASS (IGU) WINDOW WALL SYSTEM
- GL2 VISION GLASS (IGU) CURTAIN WALL SYSTEM
- GL3 GLASS GUARD - CLEAR
- MT1 METAL PANEL - BRONZE COLOUR
- MT2 FEATURE METAL PANEL - BRONZE COLOUR
- MT3 METAL PANEL - DARK BRONZE COLOUR
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PROJECT SCALE DRAWN REVIEWED

South Elevation

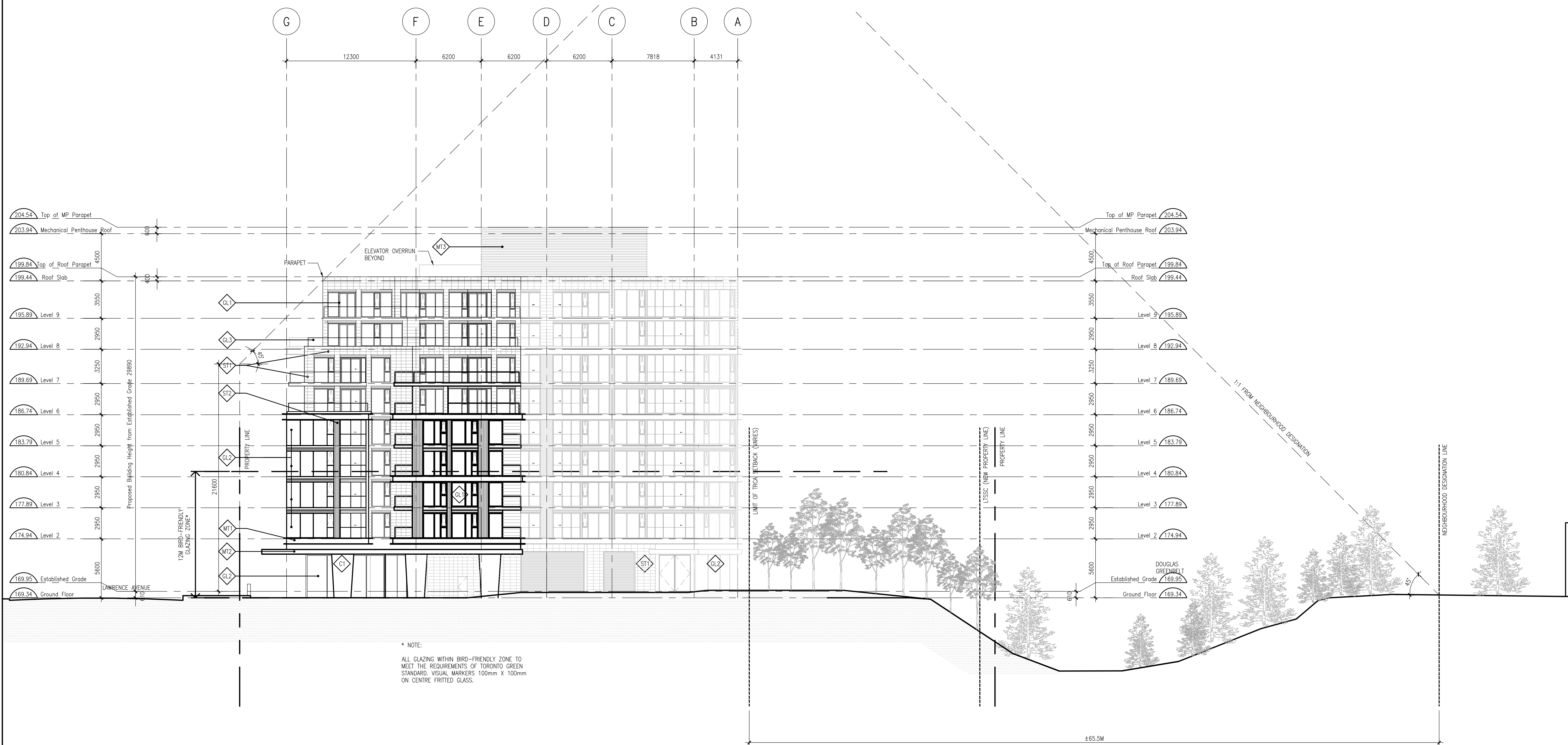
A403

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1 South Elevation  
A403 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A401 - Elevations.dwg, 2019-03-13 7:51pm



LEGEND:

- GL1 VISION GLASS (IGU) WINDOW WALL SYSTEM
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PROJECT SCALE DRAWN REVIEWED

East Elevation

A404

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1 East Elevation  
A404 SCALE: 1:200



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A405 - 1\_50 Elevations.dwg, 2019-03-13 7:51pm



LEGEND:

- GL1 VISION GLASS (IGU) WINDOW WALL SYSTEM
- GL2 VISION GLASS (IGU) CURTAIN WALL SYSTEM
- GL3 GLASS GUARD - CLEAR
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- MT3 METAL PANEL - DARK BRONZE COLOUR
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Coloured Partial South Elevation

**A405**

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LEGEND:

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PROJECT SCALE DRAWN REVIEWED

Coloured Partial South Elevation

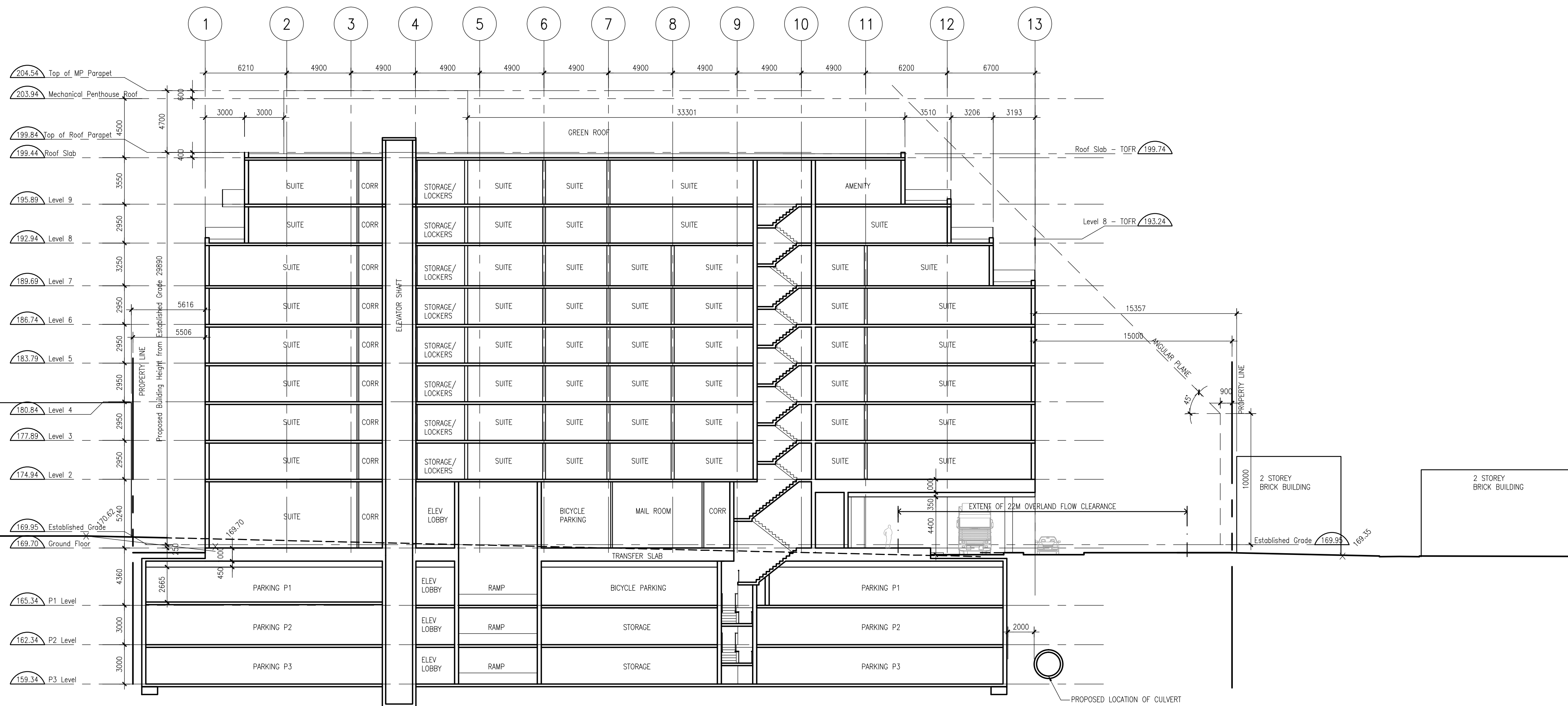
**A406**

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1 Coloured Partial South Elevation  
A406 SCALE: 1:50



C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A451 - Sections.dwg, 2019-03-13 7:51 pm



1 East-West Section  
A451 SCALE: 1:200

REVISION RECORD

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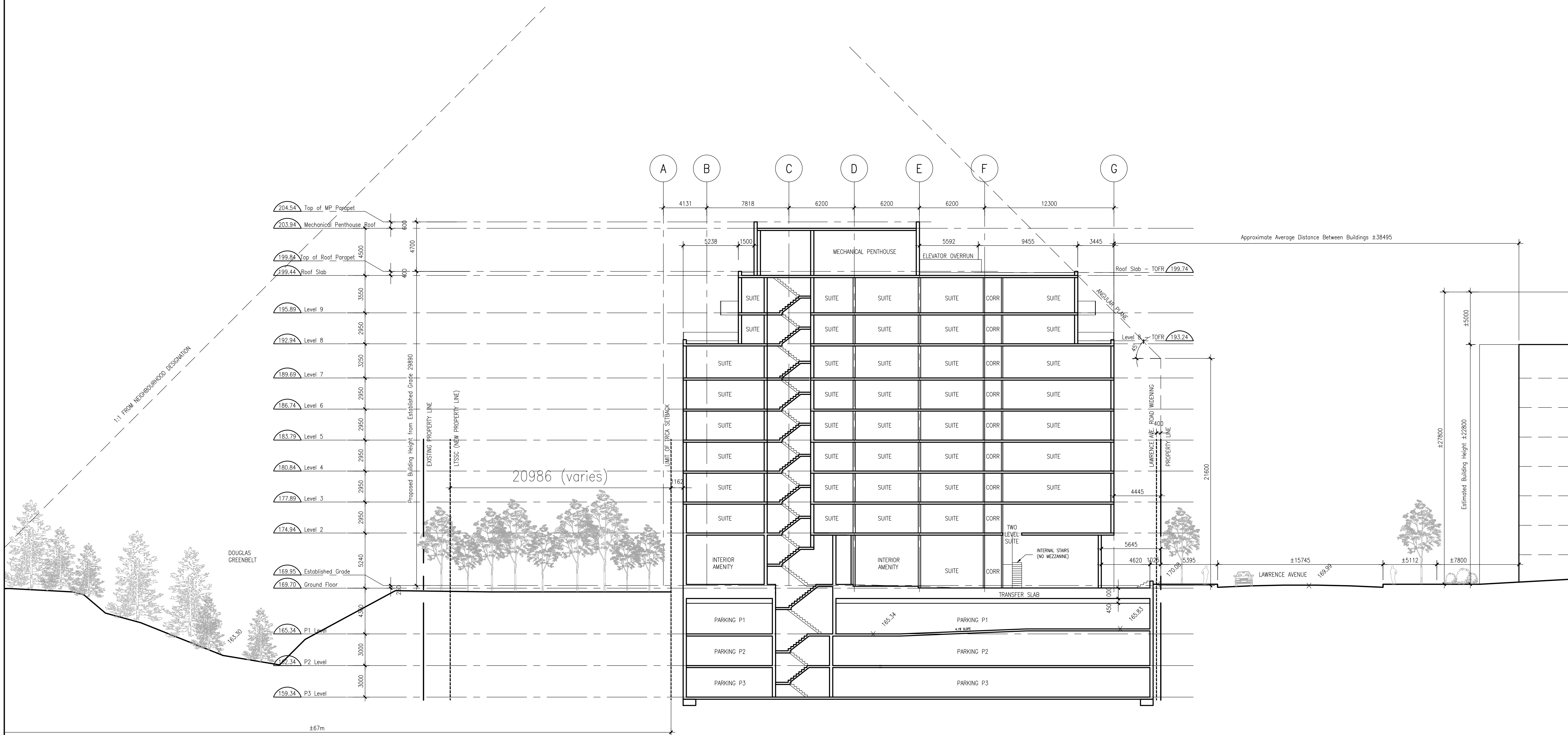
East-West Section

A451

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14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

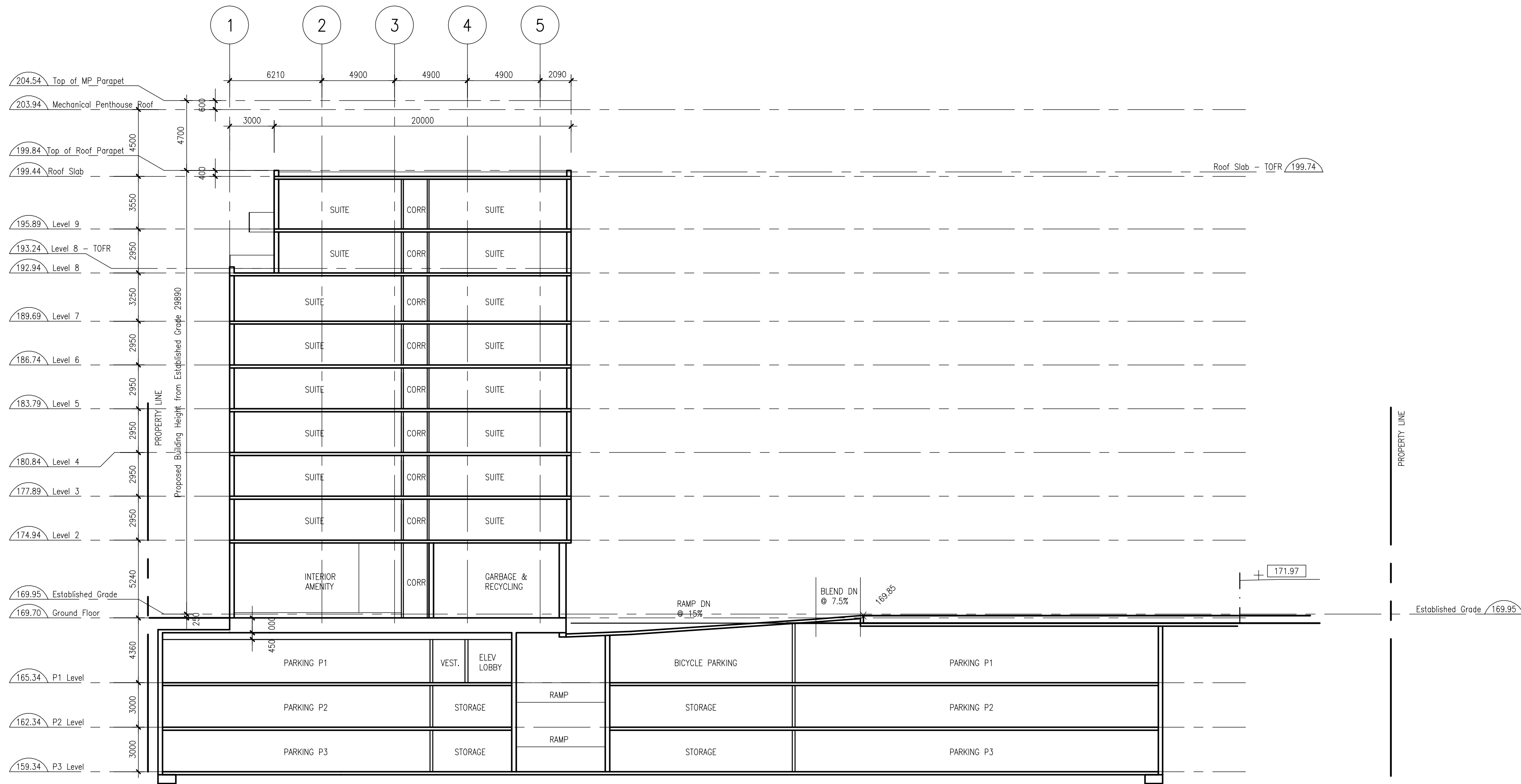
North-South Section

A452

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C:\14025-250 Lawrence Avenue W\Drawings\Arch\040\14025 - A451 - Sections.dwg, 2019-03-13 7:51 pm



REVISION RECORD

2019-03-15	Issued for SPA Resubmission
2018-02-21	Issued for OMB (OPA, ZBA, SPA)
2017-02-21	Issued for City Discussion
2016-06-30	Issued for Rezoning Resubmission & SPA

ISSUE RECORD



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250 Lawrence Avenue West  
for  
2418832 Ontario Inc.  
2419732 Ontario Inc.

14025 1:200 VT DM  
PROJECT SCALE DRAWN REVIEWED

East-West Section 2

A453

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