

11 YORKVILLE AVENUE REZONING AND SPA APPLICATION



DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA

List of Drawings

- A000 Cover Page
- A001 ZBA Development Statistics
- A002 ZBA Development Statistics
- A003 Zoning Gross Floor Area Bylaw 569-2013 Building A
- A004 Zoning Gross Floor Area Bylaw 569-2013 Building A
- A005 Zoning Gross Floor Area Building B
- A006 SPA Development Statistics
- A007 Survey
- A100 Site Plan
- A101 P4 Floor Plan
- A102 P3 Floor Plan
- A103 P2 Floor Plan
- A104 P1 Floor Plan
- A105 Ground Floor Plan
- A106 Ground Floor Mezzanine Floor Plan
- A107 Second Floor Retail Plan
- A108 3rd Floor Plan - Amenity
- A109 4th Floor Plan - Amenity
- A110 5th Floor Plan - Rental Replacement
- A111 6th, 7th Floor Plan - Rental Replacement
- A112 8th, 9th Floor Plan - Rental Replacement
- A113 10th to 23rd - Typical Floor Plan
- A114 24th to 28th - Typical Floor Plan
- A115 29th Floor Plan
- A116 30th Floor Plan
- A117 31st to 39th - Typical Floor Plan
- A118 40th, 41st Floor Plans
- A119 42nd & 43rd Floor Plan
- A120 44th to 62nd Floor Plans
- A121 Mechanical Penthouse Floor Plan
- A122 Roof Plan
- A123 Building B - Floor Plans
- A201 Building Sections
- A301 Building Elevations
- A302 Building Elevations
- A302a North Elevation
- A303 Partial North Elevation
- A304 Partial West Elevation
- A310 Coloured Elevation - North 1of2
- A311 Coloured Elevation - North 2of2
- A312 Coloured Elevation - East 1of2
- A313 Coloured Elevation - East 2of2
- A314 Coloured Elevation - South 1of2
- A315 Coloured Elevation - South 2of2
- A316 Coloured Elevation - West 1of2
- A317 Coloured Elevation - West 2of2



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME

**Mixed-Use
Development**

11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER

**17 Yorkville Partners
Inc.**

DWG TITLE

Cover Page

DATE : 2018.05.11

SCALE :

DRAWN : LL PG

CHECKED : CR

PROJ. No. : 1734

DWG No.
A000

GENERAL INFORMATION :

PROJECT DESCRIPTION	PROPOSED BUILDING A IS A 62 STOREY MIXED-USE RESIDENTIAL BUILDING PROPOSED BUILDING B IS A 3 STOREY COMMERCIAL RETAIL BUILDING		
ADDRESSES	BUILDING A :	11-21 Yorkville Avenue	
	BUILDING B :	16-18 Cumberland Street	
SITE AREA	TOTAL :	3,229 m ²	34,757 SF
	BUILDING A :	2,871 m ²	30,908 SF
	BUILDING B :	358 m ²	3,850 SF

ZONING INFORMATION :

ZONING	CR 3.0 (c1.75;r3.0) SS1 (x2401,x2190)		
HEIGHT LIMIT	14 m		
GROSS FLOOR AREA	49,430 m ²	532,056 SF	
DENSITY	15.31		
BUILDING HEIGHT	BUILDING A :	205.75 m (212.00 m Top of Mech. Penthouse)	
	BUILDING B :	12.30 m	

BUILDING A (BELOW-GRADE)															
P1 TO P4 FLOOR															
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013			
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL
Parking Level 4	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0	0
Parking Level 3	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0	0
Parking Level 2	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0	0
Parking Level 1	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0	0
TOTAL BELOW-GRADE	0	0	0	0	0	11,101.6	119,497	0.0	0	0.0	0	0.0	0	0	0

BUILDING A (ABOVE GRADE)																	
GROUND TO 4TH FLOOR (PODIUM, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL		
Ground	0	0	0	0	0	1,765.7	19,006	0.0	0	754.3	8,120	284.3	3,060	845.5	9,101	1,129.8	12,161
Mezz Level	0	0	0	0	0	535.4	5,763	0.0	0	0.0	0	379.6	4,086	0.0	0	379.6	4,086
2nd Floor	0	0	0	0	0	1,778.9	19,148	0.0	0	1,621.9	17,458	8.8	94	1,621.9	17,458	1,630.7	17,552
3rd Floor (Amenity)	0	0	0	0	0	1,004.8	10,816	0.0	0	0.0	0	16.1	173	0.0	0	16.1	173
4th Floor (Amenity)	0	0	0	0	0	1,119.9	12,054	0.0	0	0.0	0	12.1	131	0.0	0	12.1	131
SUBTOTAL	0	0	0	0	0	6,204.7	66,787	0.0	0	2,376.2	25,577	700.9	7,544	2,467.4	26,559	3,168.3	34,103

BUILDING A (ABOVE GRADE)																	
5TH TO 9TH FLOOR (RENTAL REPLACEMENT, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL		
5th Floor	3	9	2	1	15	1,119.9	12,054	839.8	9,039	0.0	0	933.6	10,048	0.0	0	933.6	10,048
6th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
7th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
8th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
9th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
SUBTOTAL	17	45	12	7	81	5,599.5	60,270	4,581.4	49,314	0.0	0	5,050.3	54,360	0.0	0	5,050.3	54,360

BUILDING A (ABOVE GRADE)																	
10TH TO 62ND FLOOR (RESIDENTIAL, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL		
10th Floor	2	7	3	2	14	1,000.0	10,764	829.9	8,933	0.0	0	912.5	9,822	0.0	0	912.5	9,822
11th to 23rd Floor	26	91	39	26	182	12,999.7	139,928	10,788.7	116,129	0.0	0	11,862.0	127,681	0.0	0	11,862.0	127,681
24th Floor	2	5	5	0	12	879.9	9,471	711.8	7,661	0.0	0	790.6	8,510	0.0	0	790.6	8,510
25th to 28th Floor	8	20	20	0	48	3,519.4	37,883	2,847.1	30,646	0.0	0	3,162.4	34,040	0.0	0	3,162.4	34,040
29th Floor	1	4	2	2	9	885.6	9,532	581.6	6,260	0.0	0	751.2	8,086	0.0	0	751.2	8,086
30th Floor	0	4	3	1	8	764.9	8,234	518.0	5,575	0.0	0	681.4	7,334	0.0	0	681.4	7,334
31st Floor	0	6	3	1	10	764.9	8,234	606.5	6,528	0.0	0	680.7	7,327	0.0	0	680.7	7,327
32nd to 39th Floor	0	48	24	8	80	6,119.5	65,870	4,851.7	52,223	0.0	0	5,445.4	58,614	0.0	0	5,445.4	58,614
40th Floor	0	6	3	1	10	757.5	8,153	599.0	6,447	0.0	0	673.2	7,246	0.0	0	673.2	7,246
41st to 43rd Floor	0	18	9	3	30	2,272.4	24,459	1,796.9	19,342	0.0	0	2,019.5	21,738	0.0	0	2,019.5	21,738
44th Floor	0	6	3	1	10	757.4	8,153	635.7	6,842	0.0	0	704.7	7,585	0.0	0	704.7	7,585
45th to 62nd Floor	0	108	54	18	180	13,633.7	146,752	11,442.1	123,161	0.0	0	12,684.2	136,532	0.0	0	12,684.2	136,532
Mech PH						530.9	5,715	0.0	0	0.0	0	3.8	41	0.0	0	3.8	41
SUBTOTAL	39	323	168	63	593	44,885.8	483,147	36,208.8	389,749	0.0	0	40,371.6	434,556	0.0	0	40,371.6	434,556
	6.6%	54.5%	28.3%	10.6%													

TOTAL BUILDING A (ABOVE-GRADE)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE + RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL		
TOTAL BUILDING A EXCLUDING PARKING	56	368	180	70	674	56,690.0	610,204	40,790.3	439,063	2,376.2	25,577	46,122.8	496,460	2,467.4	26,559	48,590.2	523,020
	8.3%	54.6%	26.7%	10.4%													

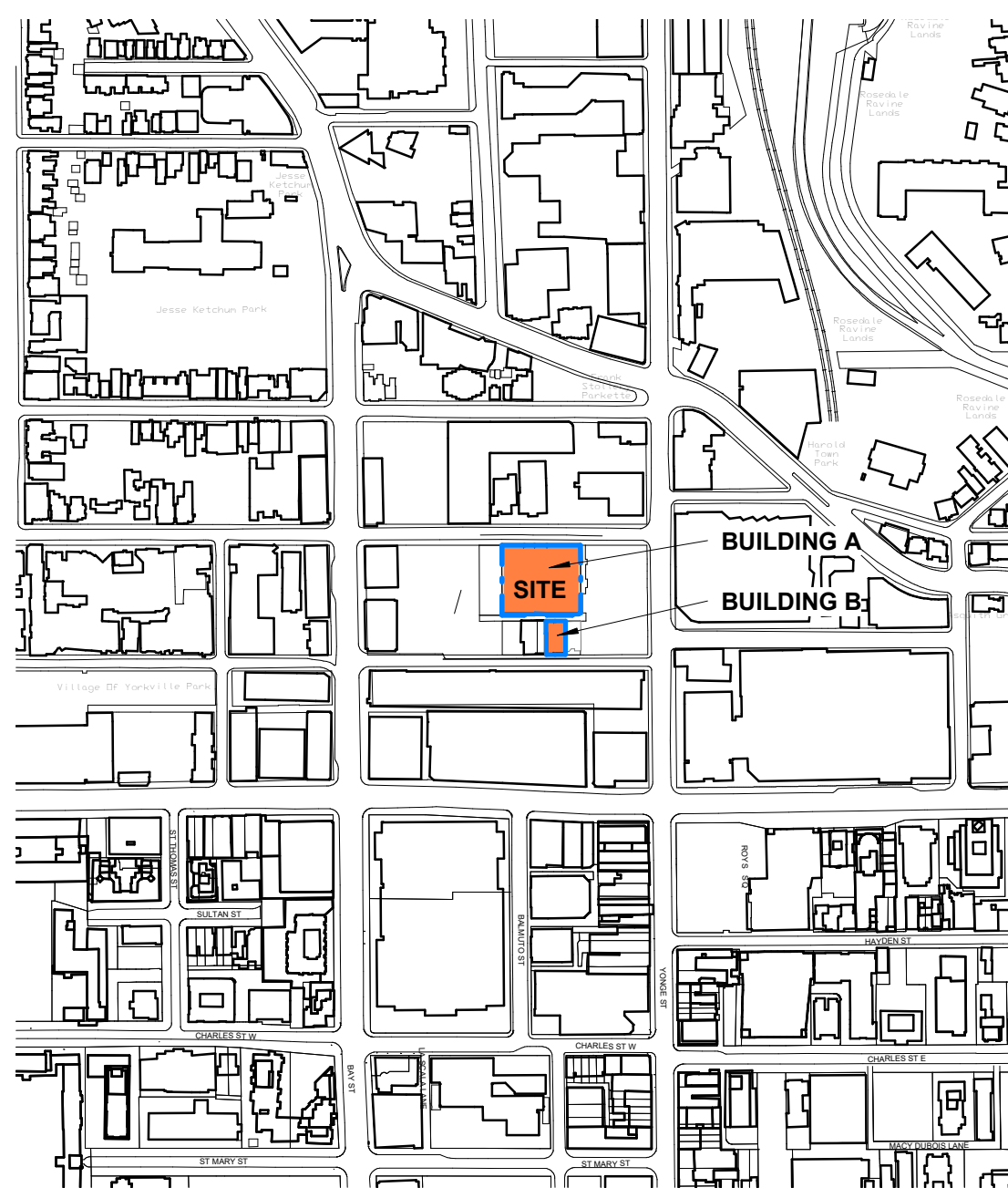
TOTAL BUILDING B															
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013			
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL
P1 Level	0	0	0	0	0	313.3	3,372	0.0	0	290.9	3,131	0.0	0	290.9	3,131
Ground Floor	0	0	0	0	0	274.8	2,957	0.0	0	251.7	2,709	0.0	0	251.7	2,709
2nd Floor	0	0	0	0	0	314.8	3,388	0.0	0	296.8	3,194	0.0	0	296.8	3,194
TOTAL BUILDING B	0	0	0	0	0	902.8	9,717	0.0	0	839.4	9,035	0.0	0	839.4	9,035

GRAND TOTAL (BUILDING A + BUILDING B)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE + RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	NON-RESIDENTIAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL	RESIDENTIAL	NON-RESIDENTIAL	TOTAL		
GRAND TOTAL	56	368	180	70	674	57,592.8	619,921	40,790.3	439,063	3,215.6	34,612	46,122.8	496,460	3,306.8	35,594	49,429.6	532,055
	8.3%	54.6%	26.7%	10.4%													

RESIDENTIAL AMENITY AREA						
REQUIRED	INDOOR (2m ² / UNIT)		OUTDOOR (2m ² / UNIT)		Total	
	Area m ²	Area SF	Area m ²	Area SF	Area m ²	Area SF
4m ² PER UNIT	1348.0	14,510	1348.0	14,510	2696.0	29,020
TOTAL REQUIRED	1348.0	14,510	1348.0	14,510	2696.0	29,020
PROVIDED	INDOOR		OUTDOOR		Total	
3rd Floor	825.1	8,881	771.7	8,307	1596.8	17,188
4th Floor	1004.5	10,812	0.0	0	1004.5	10,812
5th Floor	95.6	1,029	0.0	0	95.6	1,029
TOTAL PROVIDED	1925.2	20,723	771.7	8,307	2696.9	29,029

CAR PARKING PROVIDED						
RESIDENTIAL USE	RATES	# UNITS	AREA m ²	SUBTOTAL LONG TERM	SUBTOTAL SHORT TERM	TOTAL
RESIDENTS SPACES	0.300	674		215		
VISITORS SPACES	0.030	674			20	
SUBTOTAL						235
RETAIL USES	0.00		3,306.80	0		0
TOTAL CAR PARKING SPACES PROVIDED				235		235

BICYCLE PARKING PROVIDED						
RESIDENTIAL USE	RATES	# UNITS	AREA m ²	SUBTOTAL LONG TERM	SUBTOTAL SHORT TERM	TOTAL
RESIDENTS SPACES	0.90	674		607		
VISITORS SPACES	0.10	674			67	
SUBTOTAL						674
RETAIL USE	RATES	# UNITS	AREA m ²	SUBTOTAL LONG TERM	SUBTOTAL SHORT TERM	TOTAL
RETAIL	0.51 PER 100m ²		3,306.80		17	17
RETAIL	0.00		3,306.80	0		0
SUBTOTAL						17
TOTAL BICYCLE PARKING SPACES PROVIDED				607	84	691



1 Context Plan
A001 1 : 5000</

UNITS PROVIDED WITH BARRIER-FREE PATH OF TRAVEL					
PER OBC 3.8.2.1.(5)					
5TH TO 9TH FLOOR (RENTAL REPLACEMENT, BUILDING A)					
RESIDENTIAL UNIT COUNT					
	BACH	1BD	2BD	3BD	TOTAL
5th Floor	1	3	0	1	5
6th Floor	1	3	0	2	6
7th Floor	1	3	0	2	6
8th Floor	1	3	0	1	5
9th Floor	1	3	0	1	5
SUBTOTAL PROVIDED	5	15	0	7	27
	29%	33%	0%	100%	33%
10TH TO 62ND FLOOR (RESIDENTIAL, BUILDING A)					
RESIDENTIAL UNIT COUNT					
	BACH	1BD	2BD	3BD	TOTAL
10th Floor		1			1
11th Floor		1			1
12th Floor		1			1
13th Floor		1			1
14th Floor		1			1
15th Floor		1			1
16th Floor		1			1
17th Floor		1			1
18th Floor		1			1
19th Floor		1			1
20th Floor		1			1
21st Floor					0
22nd Floor					0
23rd Floor					0
24th Floor	1	1			2
25th Floor	1	1			2
26th Floor	1	1			2
27th Floor	1	1			2
28th Floor		1			1
29th Floor					0
30th Floor	1	1	1		3
31st Floor	1	1	1		3
32nd Floor	1	1	1		3
33rd Floor	1	1	1		3
34th Floor	1	1	1		3
35th Floor	1	1	1		3
36th Floor	1	1	1		3
37th Floor	1	1	1		3
38th Floor	1		1		2
39th Floor	1		1		2
40th Floor	1				1
41st Floor	1				1
42nd Floor	1				1
43rd Floor	1				1
44th Floor	1	1			2
45th Floor	1	1			2
46th Floor	1	1			2
47th Floor	1	1			2
48th Floor	1	1			2
49th Floor	1	1			2
50th Floor	1	1			2
51st Floor	1	1			2
52nd Floor	1	1			2
53rd Floor	1	1			2
54th Floor			1		1
55th Floor			1		1
56th Floor			1		1
57th Floor			1		1
58th Floor			1		1
59th Floor			1		1
60th Floor			1		1
61st Floor			1		1
62nd Floor			1		1
SUBTOTAL PROVIDED	4	40	27	10	81
	10%	12%	16%	16%	14%
TOTAL PROVIDED	9	55	27	17	108
	16%	15%	15%	24%	16%
TOTAL REQUIRED	8	55	27	11	101
	15%	15%	15%	15%	15%



Toronto Green Standard Version 2.0
Statistics Template

The Toronto Green Standard Statistics Template is submitted with Site Plan Control Applications and stand alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application. Refer to the full Toronto Green Standard for Mid to High-Rise Residential and All Non-Residential Development (Version 2.0) for the complete set of standards and detailed specifications: www.toronto.ca/greendevlopment

For Zoning Bylaw Amendment applications: complete **General Project Description and Section 1.**
For Site Plan Control applications: complete **General Project Description, Section 1 and Section 2.**

Toronto Green Standard Statistics

General Project Description	Proposed
Total Gross Floor Area	49,429.60
Breakdown of project components (m2):	
Residential	46,122.80
Retail	3,306.80
Commercial	
Industrial	0
Institutional/other	0
Total number residential units (residential only)	674

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required	Proposed	Proposed (%)
Number of parking spaces	558	235	
Number of parking spaces with physical provision for future EV charging (residential)			
Number of parking spaces dedicated for priority parking: LEV, car pooling, car sharing (institutional/commercial)			
Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of long-term bicycle parking spaces (residential)	644	607	
Number of long-term bicycle parking spaces (all other uses)	0	0	
Number of long-term bicycle parking (residential and all other uses) located on:			
a) first storey of building		0	
b) second storey of building		86	
c) first level below-ground (also indicate % of net area of level occupied by bicycle parking)		355	24%
d) second level below-ground (also indicate % of net area of level occupied by bicycle parking)		203	11%
e) other levels below-ground (also indicate % of net area of level occupied by bicycle parking)		0	
Number of short-term bicycle parking spaces (residential only)	72	67	
Number of short-term bicycle parking spaces (all other uses)	0	17	
Number of male shower and change facilities (non-residential only)			
Number of female shower and change facilities (non-residential only)			
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage room area (residential only) (m2)	209	281	

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed (%)
Number of short-term bicycle parking spaces (residential and all other uses) at-grade or on first level below grade	72	72	
Urban Heat Island Reduction: At Grade	Required	Proposed	Proposed (%)
Total non-roof hardscape area (m2)		308	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (m2 and %)	154	154	50%
Area of non-roof hardscape treated with: (indicate m2 and %)			
a) high-albedo surface material		77	25%
b) open-grid pavement			
c) shade from tree canopy		13	2%
d) shade from structures covered by solar panels			
Percentage of required car parking spaces under cover (minimum 50%) (non-residential only)			
Urban Heat Island Reduction: Roof	Required	Proposed	Proposed (%)
Available Roof Space (m2)		792	
Available Roof Space provided as Green Roof (m2 and %)	475	475	60%
Available Roof Space provided as Cool Roof (m2 and %)			
Water Efficiency	Required	Proposed	Proposed (%)
Total landscaped site area (m2)		1099	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (m2 and %)	550	550	50%
Urban Forest : Increase Tree Canopy	Required	Proposed	Proposed (%)
Total site area (m2)		3229	
Total number of trees planted (site area x 40% + 66)	20	6	
Number of surface parking spaces (if applicable)		N/A	
Number of shade trees located in surface parking area interior (minimum 1 tree for 5 parking spaces)		N/A	
Natural Heritage: Site	Required	Proposed	Proposed (%)
Total number of species planted		3	
Total number of native species planted and % of total species planted (minimum 50%)		3	100%
Bird Friendly Glazing	Required	Proposed	Proposed (%)
Total area of glazing of all elevations within 12m above grade (including glass balcony railings)		802.167	
Total area of treated glazing (minimum 85% of total area of glazing within 12m above grade) (m2 and %)	681.84	802.167	100%
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials			0
b) Visual markers			100%
c) Shading			0
Storage and Collection of Recycling and Organic Waste	Required	Proposed	Proposed (%)
Waste storage area for bulky items and other (minimum 10m2) (residential only)	10	10	

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co
Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME

Mixed-Use
Development

11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER

17 Yorkville Partners
Inc.

DWG TITLE

ZBA Development
Statistics

DATE : 2018.05.11

SCALE :

DRAWN : LL PG

CHECKED : CR

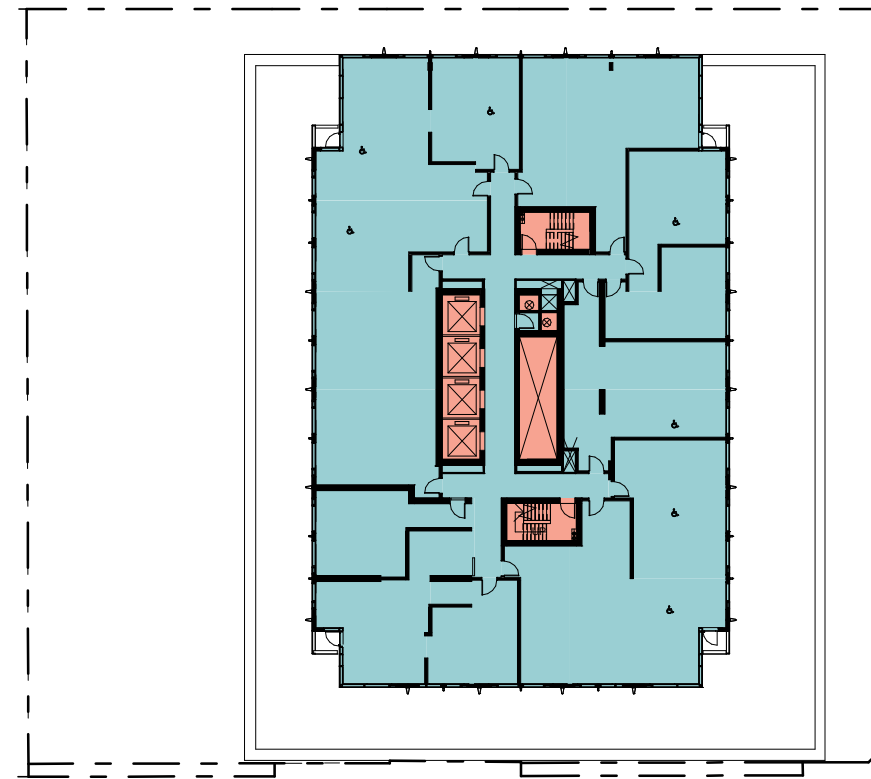
PROJ. No. : 1734

DWG No.
A002

GROSS FLOOR AREA (ZBL 569-2013)

- Deductions *
- Gross Floor Area

* **Deductions** include
 (A) parking, loading and bicycle parking below grade;
 (B) required loading spaces and required bicycle parking spaces at or above grade;
 (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
 (D) shower and change facilities required by this By-law for required bicycle parking spaces;
 (E) indoor amenity space required by this By-law
 (F) elevator shafts;
 (G) garbage shafts;
 (H) mechanical penthouse; and
 (I) exit stairwells in the building.
 (Refer to 15.5.40.40 Floor Area in By-Law 569-2013)



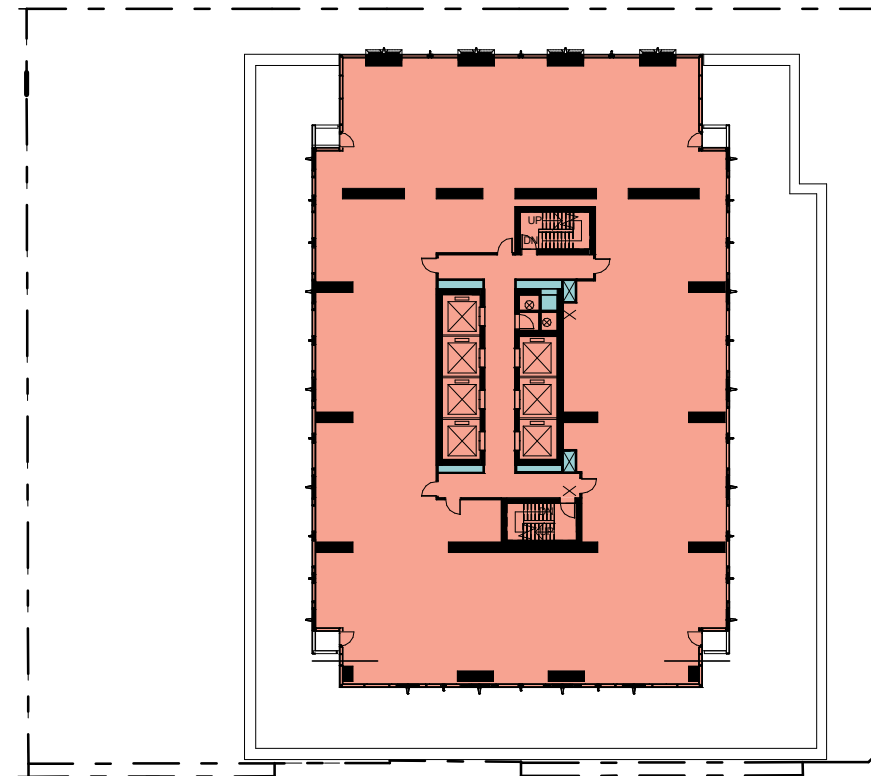
8 8th, 9th Floor Plan
 A003 1 : 500



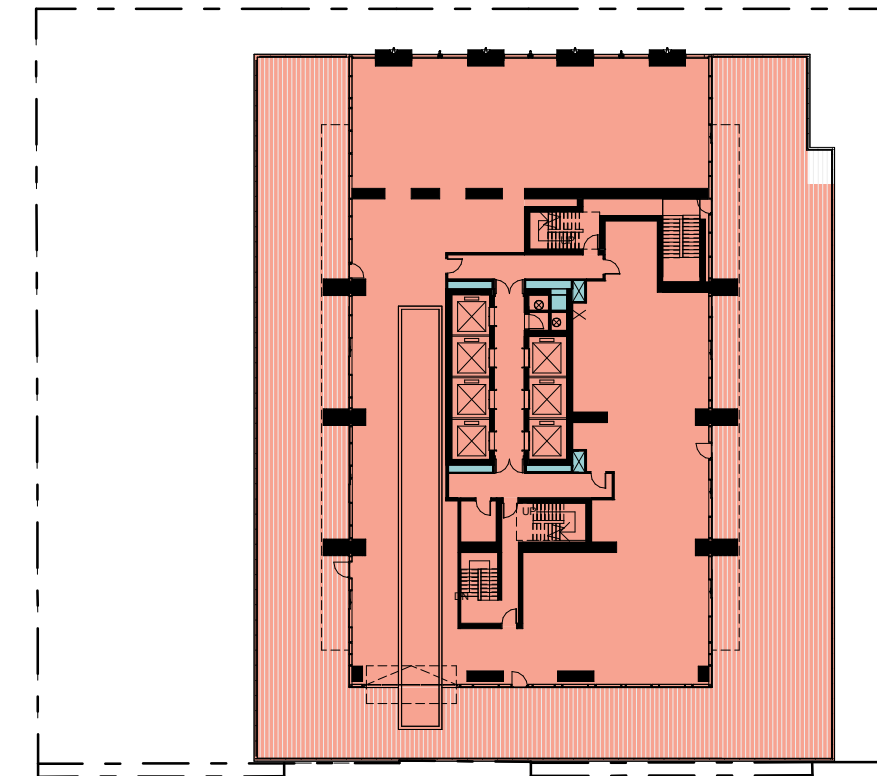
7 6th, 7th Floor Plan
 A003 1 : 500



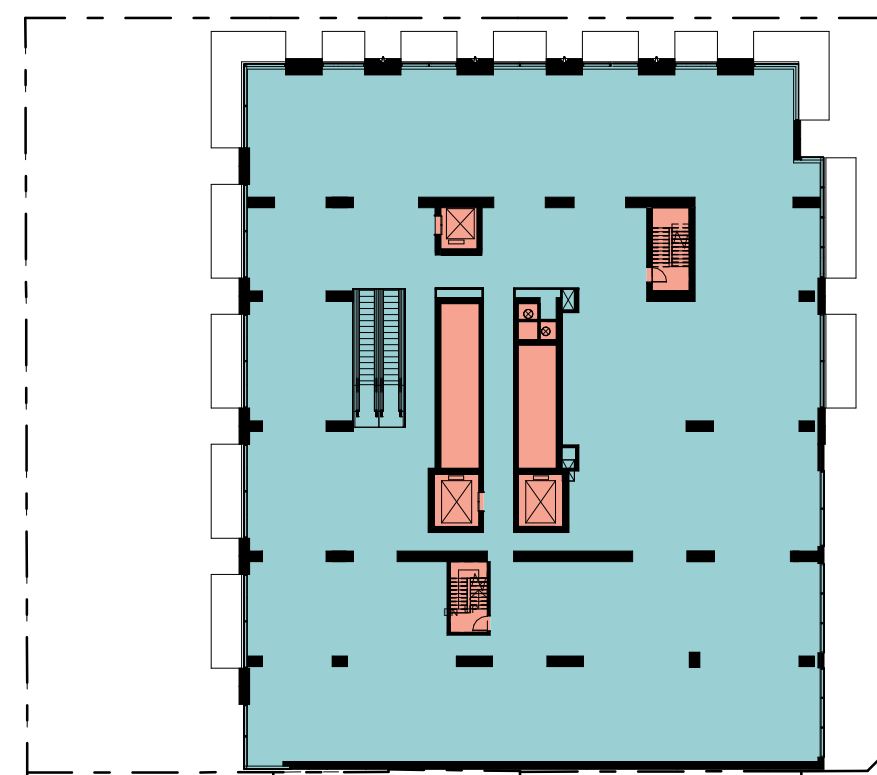
6 5th Floor Plan
 A003 1 : 500



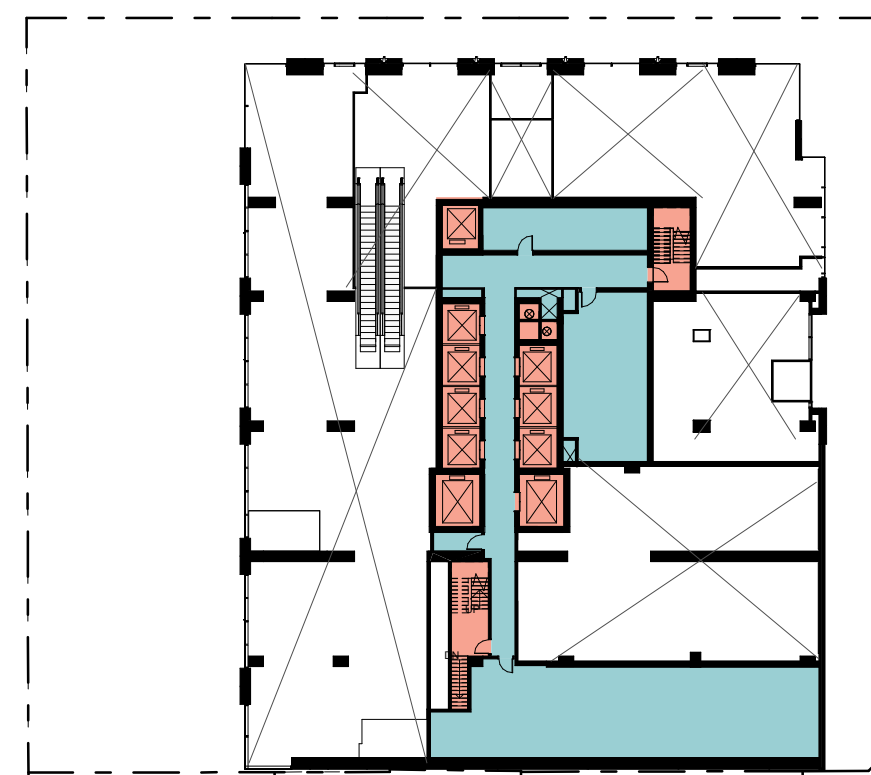
5 4th Floor Plan - Amenity
 A003 1 : 500



4 3rd Floor Plan - Amenity
 A003 1 : 500



3 Second Floor Plan
 A003 1 : 500



2 Mezzanine Floor Plan
 A003 1 : 500



1 Ground Floor Plan
 A003 1 : 500

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
 This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
Zoning Gross Floor Area Bylaw 569-2013 Building A

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : AG PG
 CHECKED : CR
 PROJ. No. : 1734



DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- NOV 5, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Sweeny&Co Architects

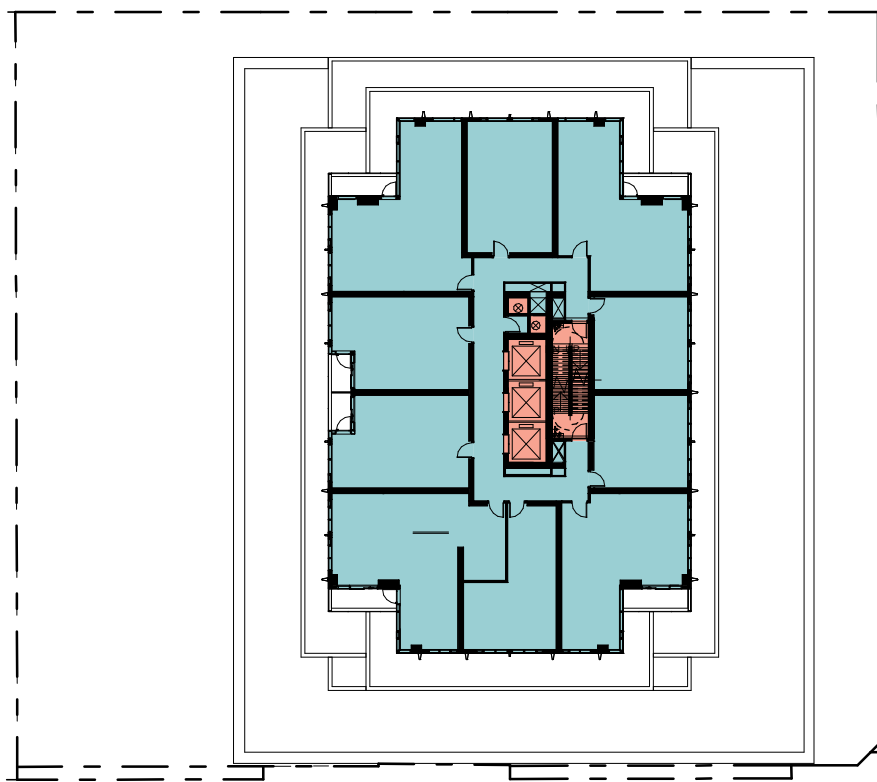
134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

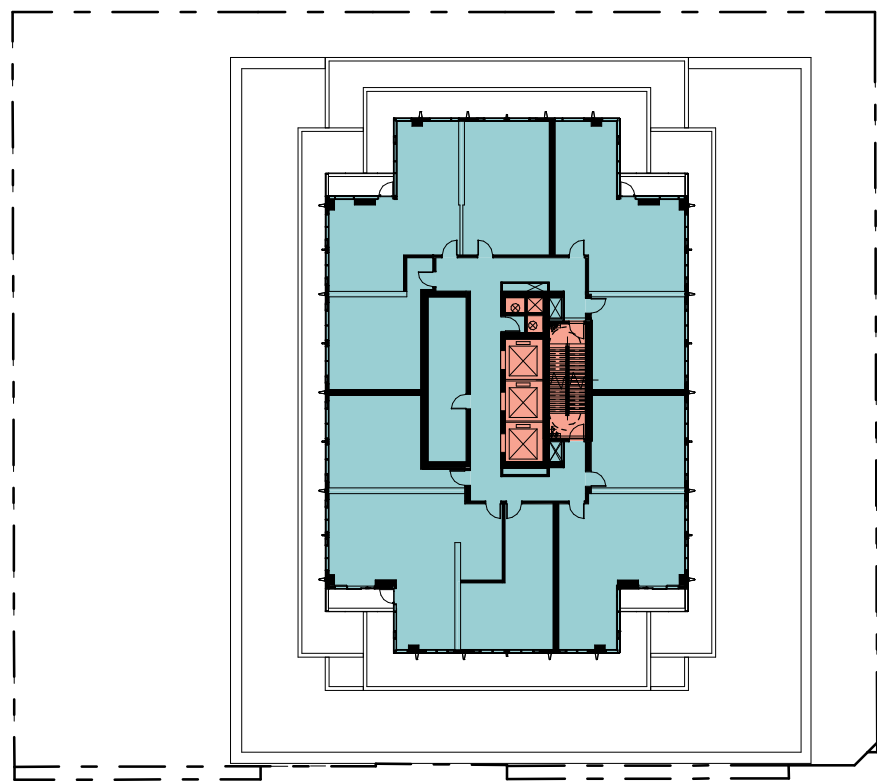
OWNER
17 Yorkville Partners Inc.

DWG TITLE
Zoning Gross Floor Area Bylaw 569-2013 Building A

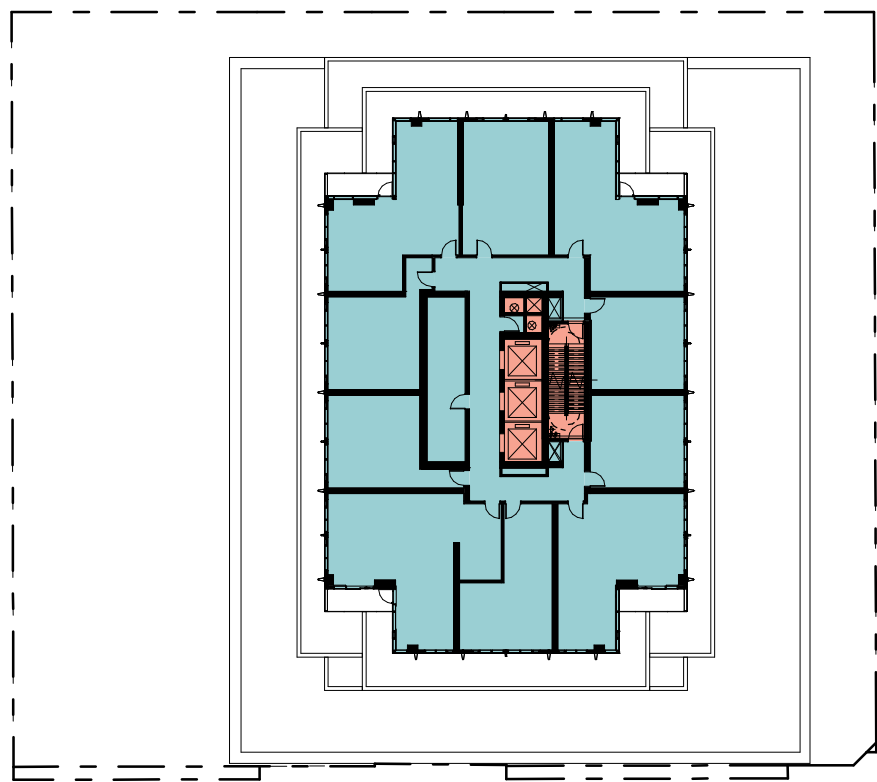
DATE : 2018.05.11
SCALE : 1 : 500
DRAWN : AG PG
CHECKED : CR
PROJ. No. : 1734



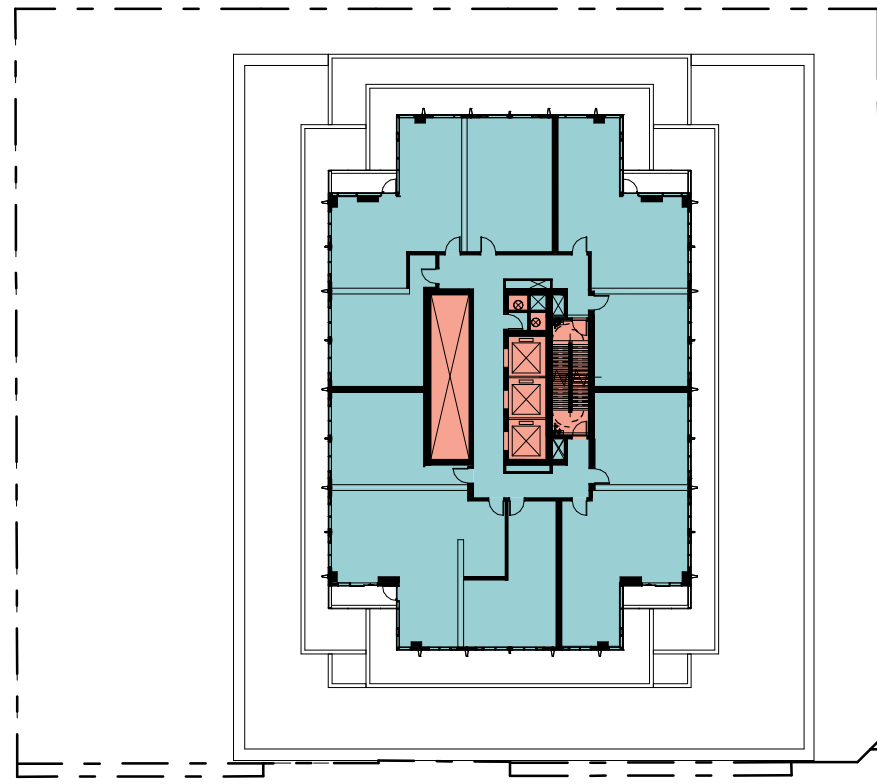
9 40th to 62nd Floor Plan
A004 1 : 500



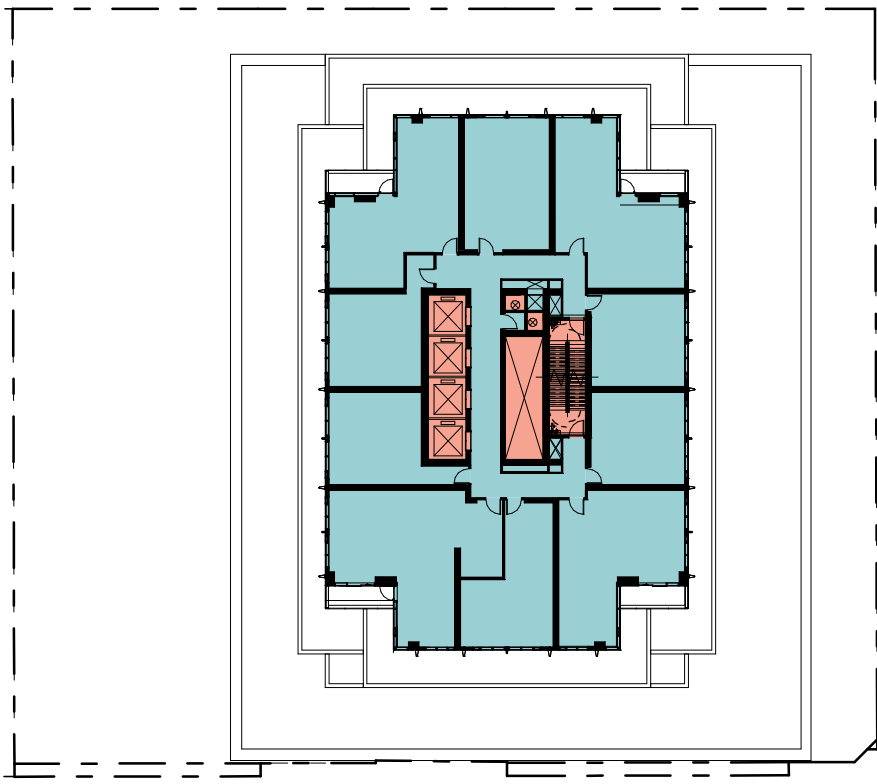
8 39th Floor Plan
A004 1 : 500



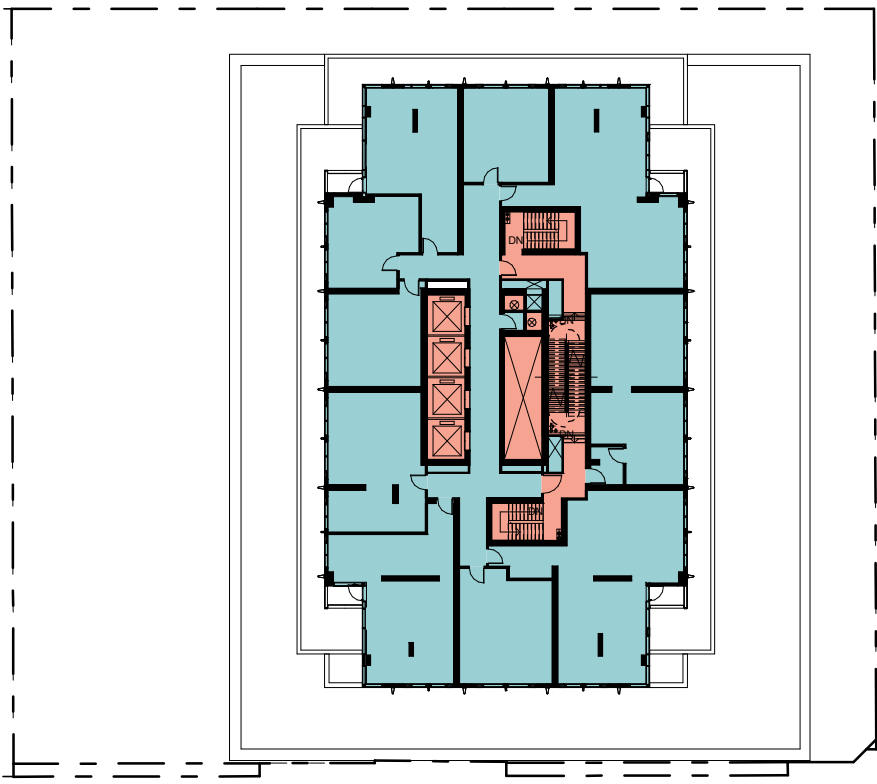
7 38th Floor Plan
A004 1 : 500



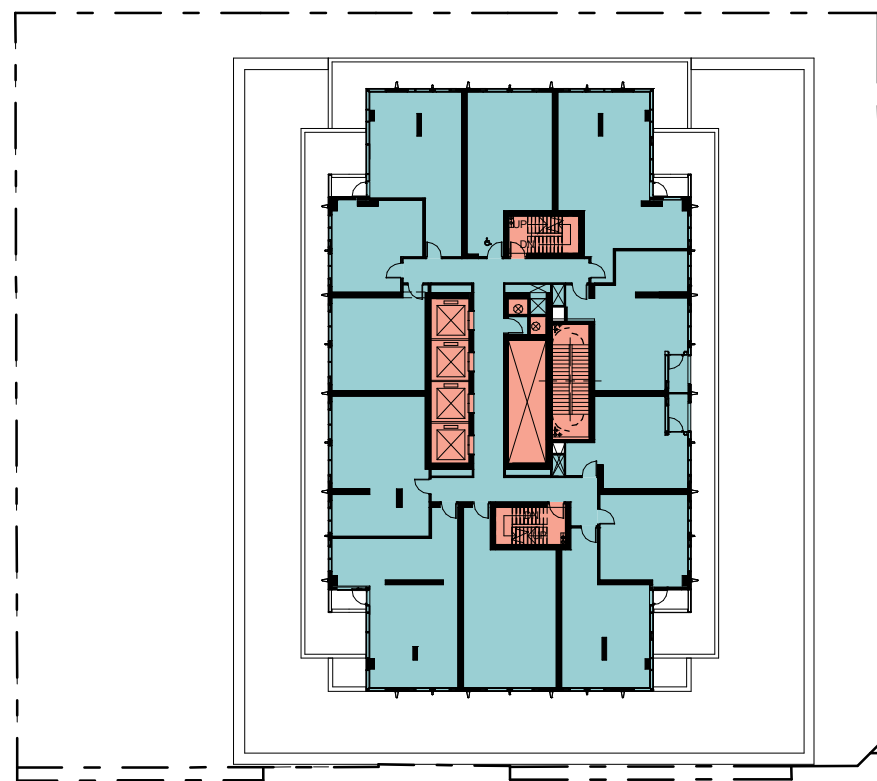
6 36th, 37th Floor Plan
A004 1 : 500



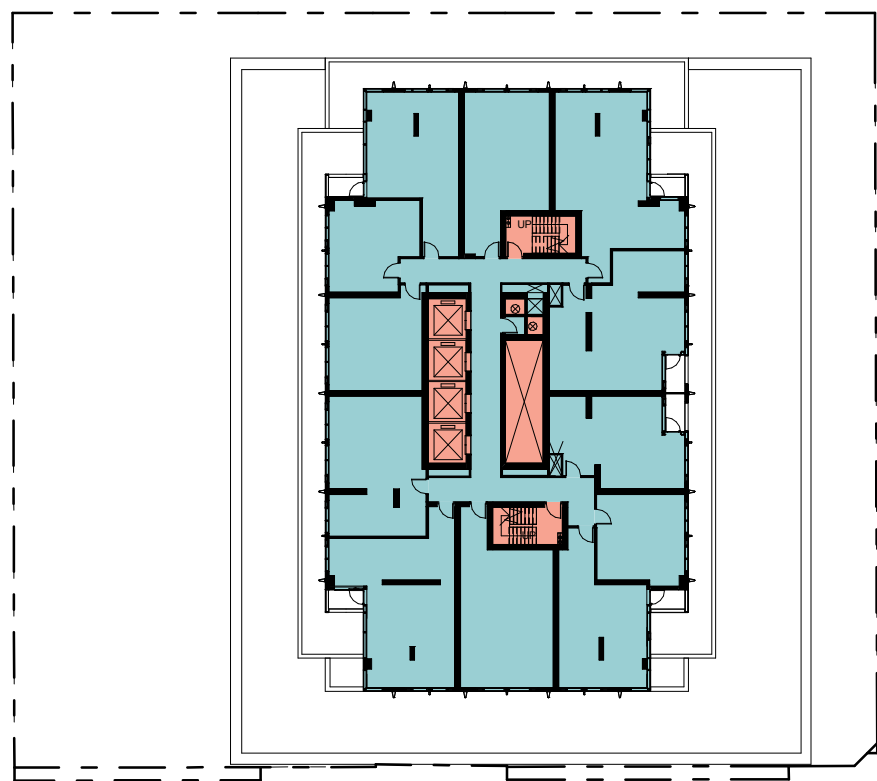
5 30th to 35th Floor Plan
A004 1 : 500



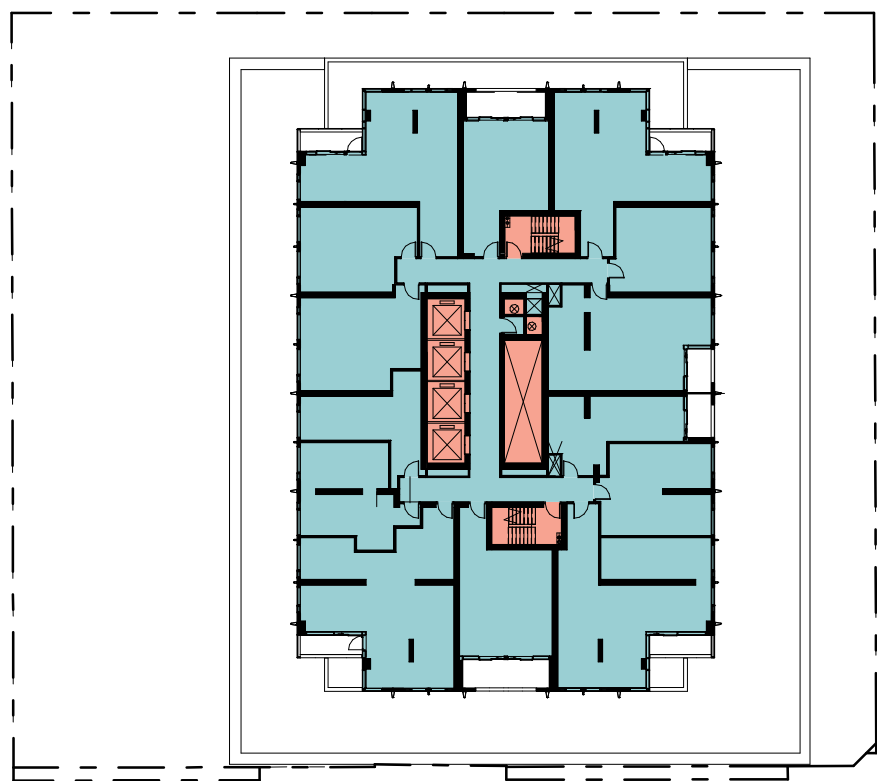
4 29th Floor Plan
A004 1 : 500



3 Level 28th Floor Plan
A004 1 : 500



2 Level 24th to 27th Floor Plan
A004 1 : 500



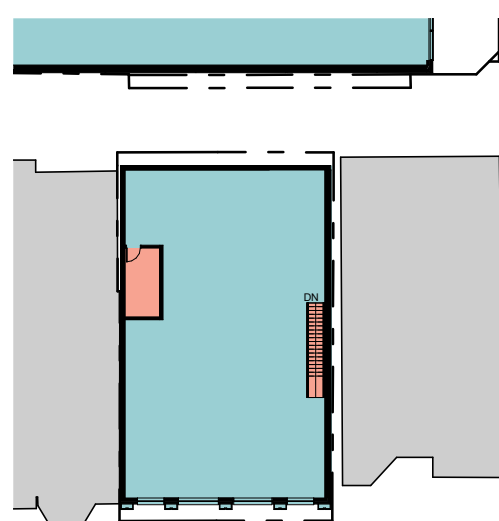
1 Level 10th to 23rd Floor Plan
A004 1 : 500

GROSS FLOOR AREA (ZBL 569-2013)

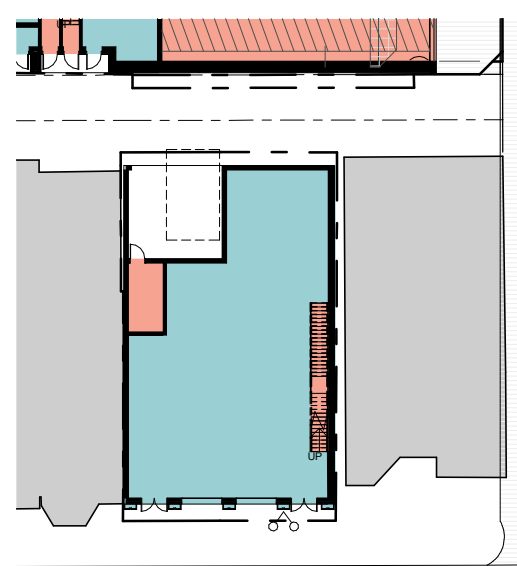
- Deductions *
- Gross Floor Area

* **Deductions** include
 (A) parking, loading and bicycle parking below grade;
 (B) required loading spaces and required bicycle parking spaces at or above grade;
 (C) storage rooms, washrooms, electrical, utility, mechanical and ventilation rooms in the basement;
 (D) shower and change facilities required by this By-law for required bicycle parking spaces;
 (E) indoor amenity space required by this By-law
 (F) elevator shafts;
 (G) garbage shafts;
 (H) mechanical penthouse; and
 (I) exit stairwells in the building.
 (Refer to 15.5.40.40 Floor Area in By-Law 569-2013)

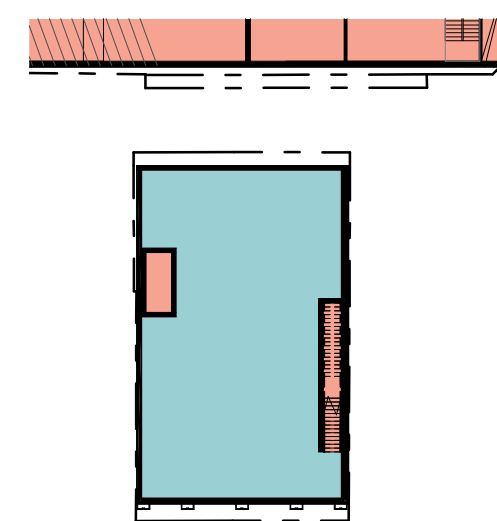
NOTE: BUILDING B SUBJECT TO FUTURE SITE PLAN APPLICATION.



2 Second Floor Plan Bylaw 569-2013
 A005 1 : 500



4 Ground Floor Plan Bylaw 569-2013
 A005 1 : 500



6 Concourse Floor Plan Bylaw 569-2013
 A005 1 : 500

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- NOV 5, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Sweeny&Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME

Mixed-Use Development

11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER

17 Yorkville Partners Inc.

DWG TITLE

Zoning Gross Floor Area Building B

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No. **A005**

GENERAL INFORMATION :

PROJECT DESCRIPTION

PROPOSED BUILDING A IS A 62 STOREY MIXED-USE RESIDENTIAL BUILDING

ADDRESS BUILDING A 11-21 Yorkville Avenue

SITE AREA BUILDING A 2,871 m² 30,908 SF

SITE INFORMATION :

ZONING CR 3.0 (c1.75;r3.0) SS1 (x2401,x2190)
 HEIGHT LIMIT 14 m
 GROSS FLOOR AREA 49,430 m² 532,056 SF
 BUILDING HEIGHT BUILDING A 205.75 m (212.00 m Top of Mech. Penthouse)

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
 This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

DEC 12, 18 ISSUED FOR COORDINATION
 DEC 19, 18 ISSUED FOR ZBA AND SPA
 MAR 22, 19 ISSUED FOR COORDINATION
 MAR 28, 19 ISSUED FOR ZBA AND SPA

BUILDING A (BELOW-GRADE)																	
P1 TO P4 FLOOR																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF
Parking Level 4	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0.0	0	0.0	0
Parking Level 3	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0.0	0	0.0	0
Parking Level 2	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0.0	0	0.0	0
Parking Level 1	0	0	0	0	0	2,775.4	29,874	0.0	0	0.0	0	0.0	0	0.0	0	0.0	0
TOTAL BELOW-GRADE	0	0	0	0	0	11,101.6	119,497	0.0	0	0.0	0	0.0	0	0.0	0	0.0	0

BUILDING A (ABOVE GRADE)																	
GROUND TO 4TH FLOOR (PODIUM, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF
Ground	0	0	0	0	0	1,765.7	19,006	0.0	0	754.3	8,120	284.3	3,060	845.5	9,101	1,129.8	12,161
Mezz Level	0	0	0	0	0	535.4	5,763	0.0	0	0.0	0	379.6	4,086	0.0	0	379.6	4,086
2nd Floor	0	0	0	0	0	1,778.9	19,148	0.0	0	1,621.9	17,458	8.8	94	1,621.9	17,458	1,630.7	17,552
3rd Floor (Amenity)	0	0	0	0	0	1,004.8	10,816	0.0	0	0.0	0	16.1	173	0.0	0	16.1	173
4th Floor (Amenity)	0	0	0	0	0	1,119.9	12,054	0.0	0	0.0	0	12.1	131	0.0	0	12.1	131
SUBTOTAL	0	0	0	0	0	6,204.7	66,787	0.0	0	2,376.2	25,577	700.9	7,544	2,467.4	26,559	3,168.3	34,103

5TH TO 9TH FLOOR (RENTAL REPLACEMENT, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF
5th Floor	3	9	2	1	15	1,119.9	12,054	839.8	9,039	0.0	0	933.6	10,048	0.0	0	933.6	10,048
6th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
7th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
8th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
9th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
SUBTOTAL	17	45	12	7	81	5,599.5	60,270	4,581.4	49,314	0.0	0	5,050.3	54,360	0.0	0	5,050.3	54,360

10TH TO 62ND FLOOR (RESIDENTIAL, BUILDING A)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF
10th Floor	2	7	3	2	14	1,000.0	10,764	829.9	8,933	0.0	0	912.5	9,822	0.0	0	912.5	9,822
11th to 23rd Floor	26	91	39	26	182	12,999.7	139,928	10,788.7	116,129	0.0	0	11,862.0	127,681	0.0	0	11,862.0	127,681
24th Floor	2	5	5	0	12	879.9	9,471	711.8	7,661	0.0	0	790.6	8,510	0.0	0	790.6	8,510
25th to 28th Floor	8	20	20	0	48	3,519.4	37,883	2,847.1	30,646	0.0	0	3,162.4	34,040	0.0	0	3,162.4	34,040
29th Floor	1	4	2	2	9	885.6	9,532	581.6	6,260	0.0	0	751.2	8,086	0.0	0	751.2	8,086
30th Floor	0	4	3	1	8	764.9	8,234	518.0	5,575	0.0	0	681.4	7,334	0.0	0	681.4	7,334
31st Floor	0	6	3	1	10	764.9	8,234	606.5	6,528	0.0	0	680.7	7,327	0.0	0	680.7	7,327
32nd to 39th Floor	0	48	24	8	80	6,119.5	65,870	4,851.7	52,223	0.0	0	5,445.4	58,614	0.0	0	5,445.4	58,614
40th Floor	0	6	3	1	10	757.5	8,153	599.0	6,447	0.0	0	673.2	7,246	0.0	0	673.2	7,246
41st to 43rd Floor	0	18	9	3	30	2,272.4	24,459	1,796.9	19,342	0.0	0	2,019.5	21,738	0.0	0	2,019.5	21,738
44th Floor	0	6	3	1	10	757.4	8,153	635.7	6,842	0.0	0	704.7	7,585	0.0	0	704.7	7,585
45th to 62nd Floor	0	108	54	18	180	13,633.7	146,752	11,442.1	123,161	0.0	0	12,684.2	136,532	0.0	0	12,684.2	136,532
Mech PH						530.9	5,715	0.0	0	0.0	0	3.8	41	0.0	0	3.8	41
SUBTOTAL	39	323	168	63	593	44,885.8	483,147	36,208.8	389,749	0.0	0	40,371.6	434,556	0.0	0	40,371.6	434,556
	6.6%	54.5%	28.3%	10.6%													

TOTAL BUILDING A (ABOVE-GRADE)																	
	RESIDENTIAL UNIT COUNT					TFA		SALEABLE + RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF	RESIDENTIAL	Area SF	NON-RESIDENTIAL	Area m ²	Area SF
TOTAL BUILDING A EXCLUDING PARKING	56	368	180	70	674	56,690.0	610,204	40,790.3	439,063	2,376.2	25,577	46,122.8	496,460	2,467.4	26,559	48,590.2	523,020
	8.3%	54.6%	26.7%	10.4%													



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
SPA Development Statistics

DATE : 2018.05.11
 SCALE :
 DRAWN : LL PG
 CHECKED : CR
 PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt

3/28/19 3:05:56 PM

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA

TOPOGRAPHIC PLAN OF
**ALL OF LOTS 8, 9, AND 12,
 PART OF LOTS 7, 11, AND 13**
 REGISTERED PLAN 355-Y
 AND
**ALL OF TORONTO STANDARD
 CONDOMINIUM PLAN 1744**
 AND
**PART OF LOT 21
 CONCESSION 2, FROM THE BAY**
 (FORMERLY IN GEOGRAPHIC TOWNSHIP OF YORK)
CITY OF TORONTO
 MUNICIPALITY OF METROPOLITAN TORONTO

SCALE 1: 250



WSP GEOMATICS ONTARIO LIMITED
 ONTARIO LAND SURVEYORS
 2018 © This plan is protected by copyright.

LEGEND

	Denotes ANCHOR
	Denotes GUY POLE
	Denotes LAMP STANDARD
	Denotes UTILITY POLE
	Denotes HANDWELL
	Denotes CATCH BASIN
	Denotes MANHOLE
	Denotes MANHOLE-HYDRO
	Denotes MANHOLE-STORM
	Denotes MANHOLE-SANI
	Denotes TERMINAL BOX : HYDRO
	Denotes TERMINAL BOX : COMM
	Denotes BIKE RACK
	Denotes SINGLE POST SIGN
	Denotes DOUBLE POST SIGN
	Denotes TRAFFIC LIGHT
	Denotes FIRE HYDRANT
	Denotes VALVE CHAMBER
	Denotes WATER VALVE
	Denotes GAS VALVE
	Denotes DECIDUOUS TREE
	Denotes WIRE FENCE
	Denotes GUARD RAIL
	Denotes CHAIN LINK FENCE
	Denotes BOLLARD
	Denotes STANDARD BARRIER CURB AND GUTTER
	Denotes BARRIER TYPE CURB

BENCHMARK

ELEVATIONS ARE IN METRES AND ARE DERIVED FROM CITY OF TORONTO BENCHMARK NO. CT828 NORTH SIDE OF YORKVILLE AVENUE WEST OF YONGE STREET, BENCHMARK ON A 1 STOREY PUBLIC LIBRARY BUILDING 3.96M NORTH FROM SOUTHEAST CORNER 0.43M ABOVE GRADE.
 ELEVATION = 116.982M

SURVEYOR'S CERTIFICATE

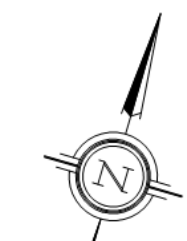
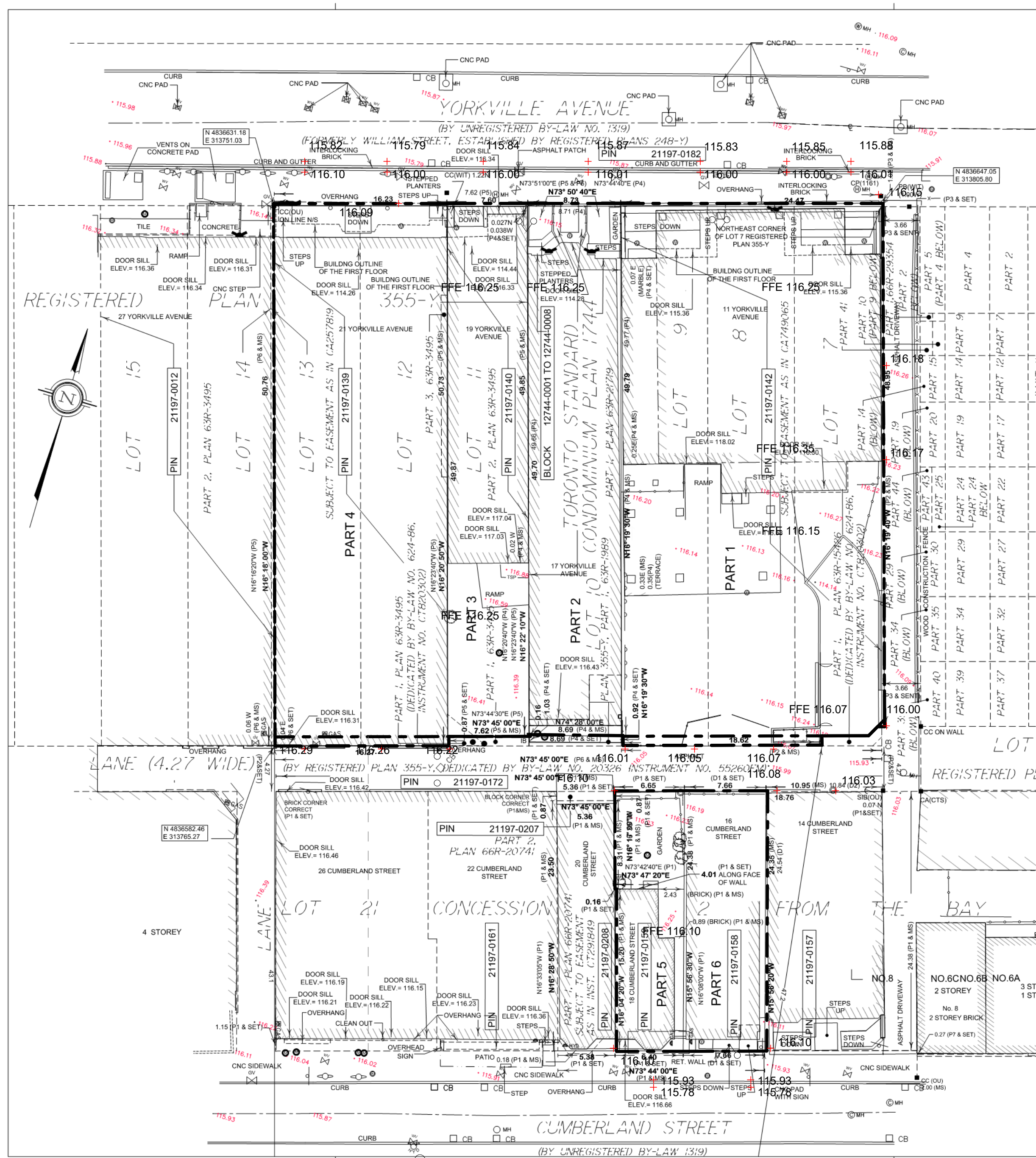
I CERTIFY THAT:

1. THE SURVEY WAS COMPLETED ON THE 21 DAY OF JULY 2017.

NOVEMBER 21, 2018
 DATE

Simeon Mitrev
 SIMEON MITREV
 ONTARIO LAND SURVEYOR

wsp WSP Geomatics Ontario Limited	Ontario Land Surveyors	Drawing Number : 17M-01494-000
610 Chartwell Road, Suite 300, Oakville, Ontario Canada, L6J 4A5		Website : www.wspgroup.ca
t: 905-823-8500 f: 905-823-8503		
P.Chief : A.K.	Dwg. By : C.E.W.	Chk'd by : G.M.
Job Number : 17M-01494-00-AV1	Tab Name : A2	
Dwg File Name :	17M-01494-00_T01_C3D2015_181121.DWG	



**Sweeny & Co
 Architects**

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
**Mixed-Use
 Development**
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
**17 Yorkville Partners
 Inc.**

DWG TITLE
Survey

DATE : 2018.05.11
 SCALE : 1 : 300
 DRAWN :
 CHECKED :
 PROJ. No. : 1734



DWG No.
A007

NOTE:
 SURVEY PREPARED BY WSP ONTARIO
 GEOMATICS, OLS, DATED NOVEMBER 21, 2018.

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.dwg

3/28/19 3:06:00 PM

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

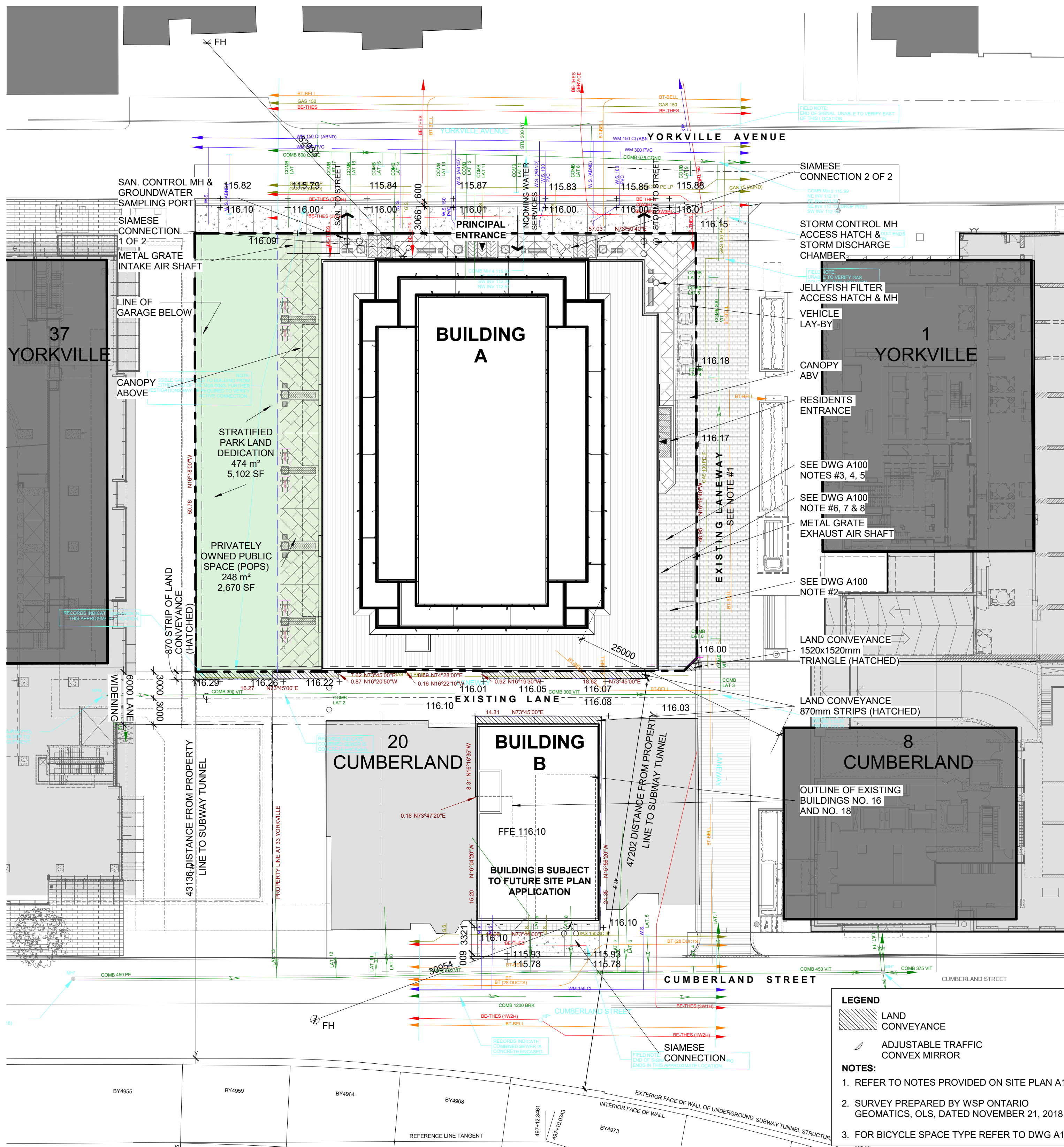
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA

NOTES:

- PUBLIC LANE ACCESS, AS WIDENED, AT YORKVILLE AVENUE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF TORONTO STANDARD T-310.050-1 FOR VEHICLE ENTRANCES IN COMBINED CURB AND SIDEWALK.
- CEILING-MOUNTED "CAUTION: TRUCKS REVERSING WHEN FLASHING" SIGN AND FLASHING BEACON, WHERE BEACON FLASHES WHEN LOOP DETECTOR IS ACTIVATED.
- LOOP DETECTOR WILL ACTIVATE FLASHING BEACON FOR VEHICLES EXITING RAMP.
- "NO PARKING - LOADING ZONE" SIGNS TO BE PROVIDED ADJACENT TO LOADING SPACES.
- LOADING AND STAGING AREAS TO BE LEVEL (+/- 2%) WITH AN UNENCUMBERED VERTICAL CLEARANCE OF 6.1M AND CONSTRUCTED OF A MINIMUM OF 200MM REINFORCED CONCRETE SLAB.
- ACCESS DRIVEWAYS USED BY COLLECTION VEHICLES TO BE LEVEL (+/- 8%) AND HAVE A MINIMUM VERTICAL CLEARANCE OF 4.4M, A MINIMUM WIDTH OF 4.5M THROUGHOUT, AND A WIDTH OF 6M AT POINT OF INGRESS AND EGRESS.
- GARBAGE COLLECTION STAFF NOTE: A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS FLAGMAN BY CONTROLLING THE TRUCK, CYCLING, PEDESTRIAN AND OTHER VEHICLE MOVEMENTS IN THE AREA. THE ON-SITE STAFF WILL MANUEVER THE BINS OUT OF THE WAY FOR THE COLLECTION VEHICLE TO EXIT FORWARD. THE ON-SITE STAFF MUST DO THIS FOR GARBAGE COLLECTION AT BOTH BUILDINGS. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLE ARRIVES AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY. FAILURE TO COMPLY WITH THIS ARRANGEMENT WILL RESULT IN CANCELLATION OF RESIDENTIAL COLLECTION AT THE SITE.
- GARBAGE COLLECTION BINS USED FOR NON-RESIDENTIAL WASTE AND RESIDENTIAL WASTE WILL BE LABELLED ACCORDINGLY.
- SHARED LOADING AREA FOR NON-RESIDENTIAL REFUSE COLLECTION WILL BE SCHEDULED ON DIFFERENT DAYS OF RESIDENTIAL COMPONENT TO ENSURE LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- CITY STAFF HAVE REVIEWED THIS APPLICATION ON THE UNDERSTANDING IT WILL COMPRISE ONE MIXED USE CONDOMINIUM CORPORATION UPON COMPLETION. IF ANY PARTY, INCLUDING THE APPLICANT OR ANY SUBSEQUENT OWNER, SUBMITS AN APPLICATION FOR CONDOMINIUM APPROVAL FOR THIS DEVELOPMENT NOT IN ACCORDANCE WITH THIS INFORMATION, DIFFERENT SERVICING CONNECTIONS, INCLUDING ALL ASSOCIATED STORMWATER MANAGEMENT FACILITIES AND ANY NECESSARY REVISED PLANS AND STUDIES, MAY BE REQUIRED BY THE CITY AT THE SOLE COST TO THE CONDOMINIUM APPLICANT.
- CONCRETE CURB, CONCRETE SIDEWALK AND ALL RESTORATION ALONG FRONTING ROADWAYS TO THE SITE TO COMPLY WITH CITY OF TORONTO STANDARDS.
- REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPING, SIDEWALK DETAILS ETC.
- SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
- EXISTING UTILITY MAPPING PREPARED BY T2 UTILITY ENGINEERS, DATED JANUARY 30, 2019.



LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

- REFER TO NOTES PROVIDED ON SITE PLAN A100.
- SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
- FOR BICYCLE SPACE TYPE REFER TO DWG A104.

Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Site Plan

DATE : 2018.05.11
 SCALE : 1 : 300
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734

DWG No.
A100

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180311_R17_Lawrence.dwg

3/28/19 4:46:16 PM

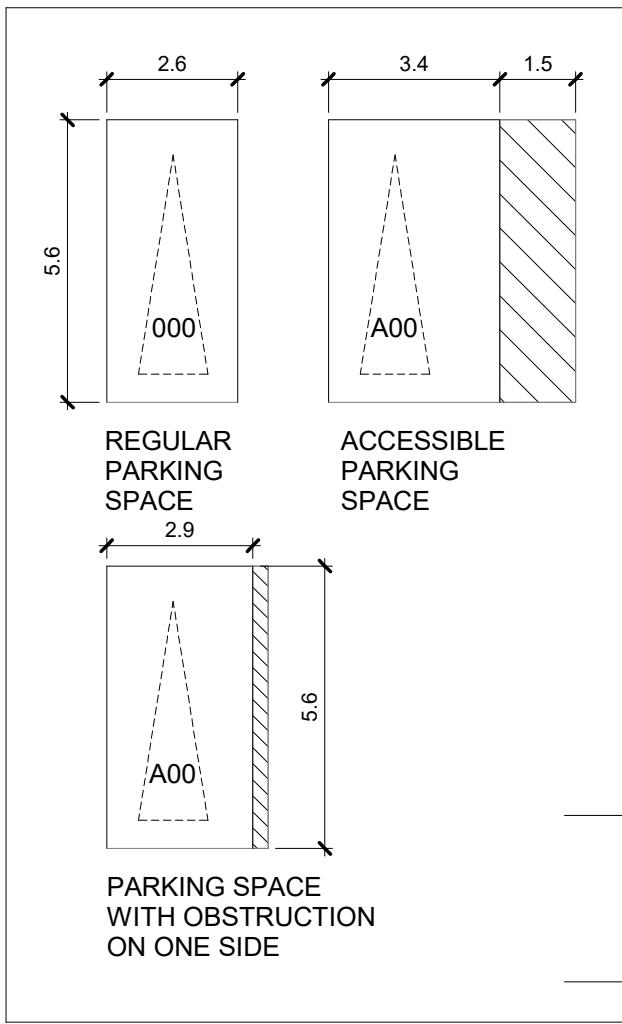
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

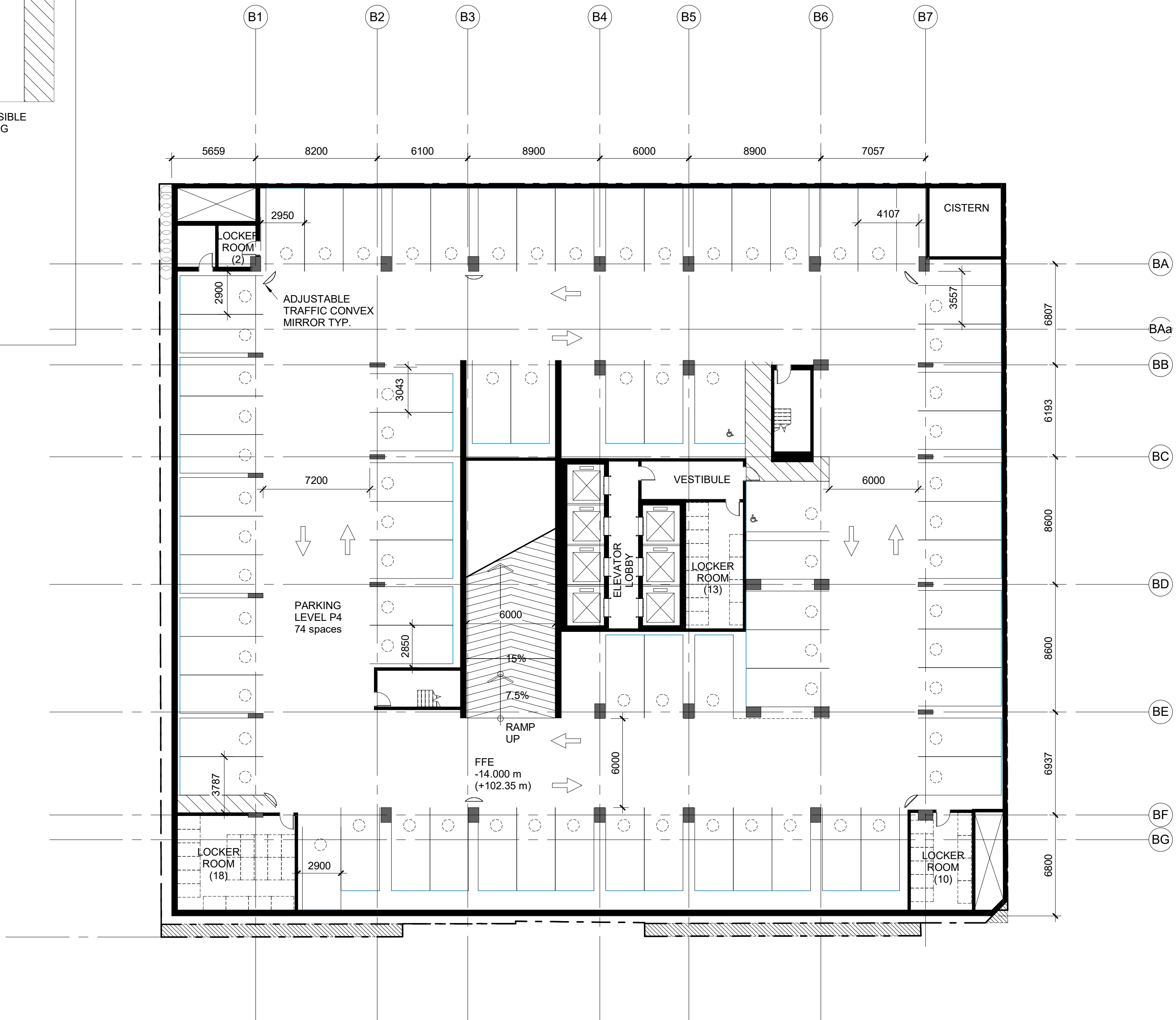
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



TYPES OF CAR PARKING SPACE



LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

1. REFER TO NOTES PROVIDED ON SITE PLAN A100.
2. SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
3. FOR BICYCLE SPACE TYPE REFER TO DWG A104.



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
P4 Floor Plan

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : AG
 CHECKED : CR
 PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt 3/28/19 3:06:05 PM

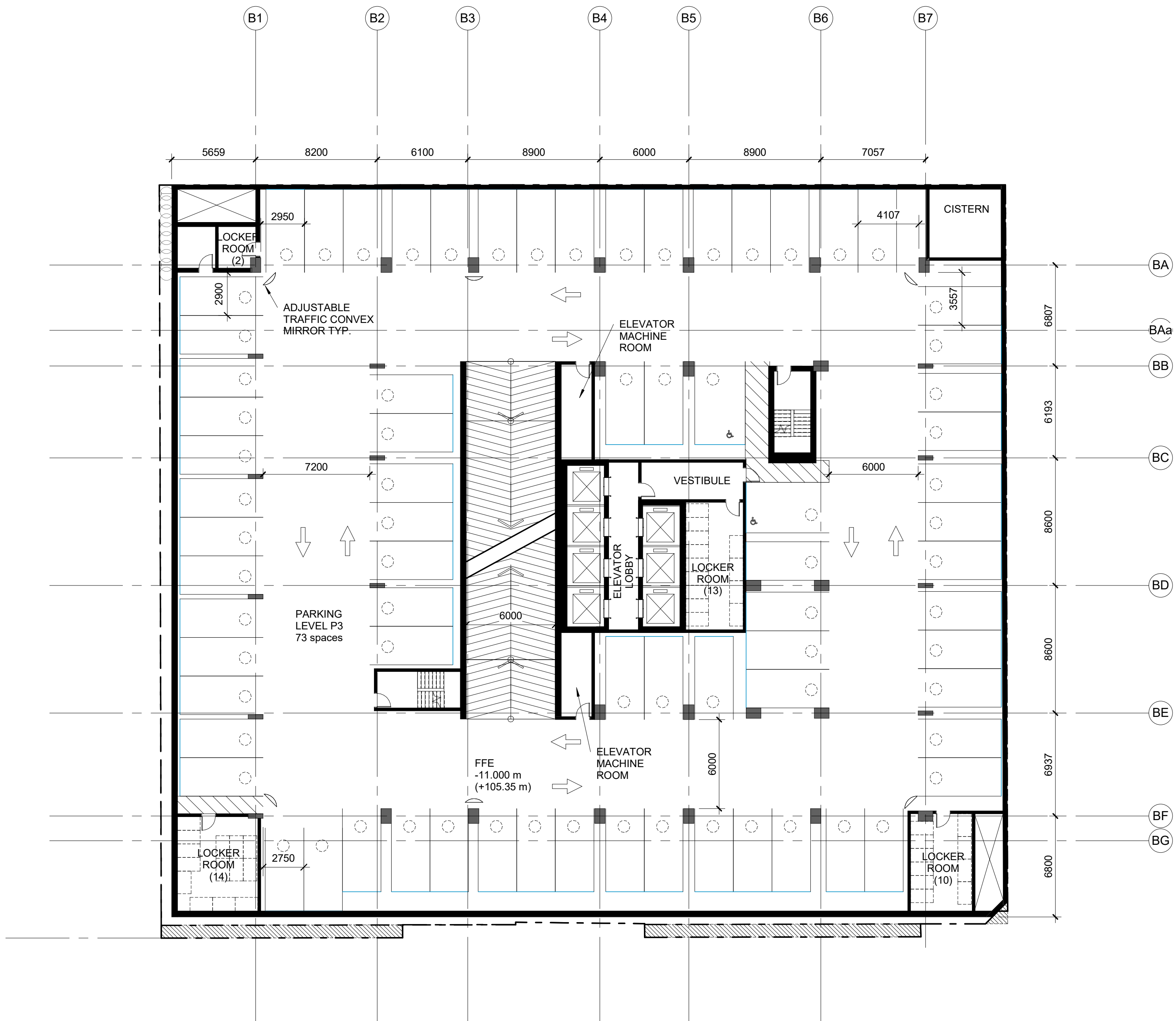
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

1. REFER TO NOTES PROVIDED ON SITE PLAN A100.
2. SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
3. FOR BICYCLE SPACE TYPE REFER TO DWG A104.



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
P3 Floor Plan

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : AG
 CHECKED : CR
 PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt 3/28/18 3:08:10 PM

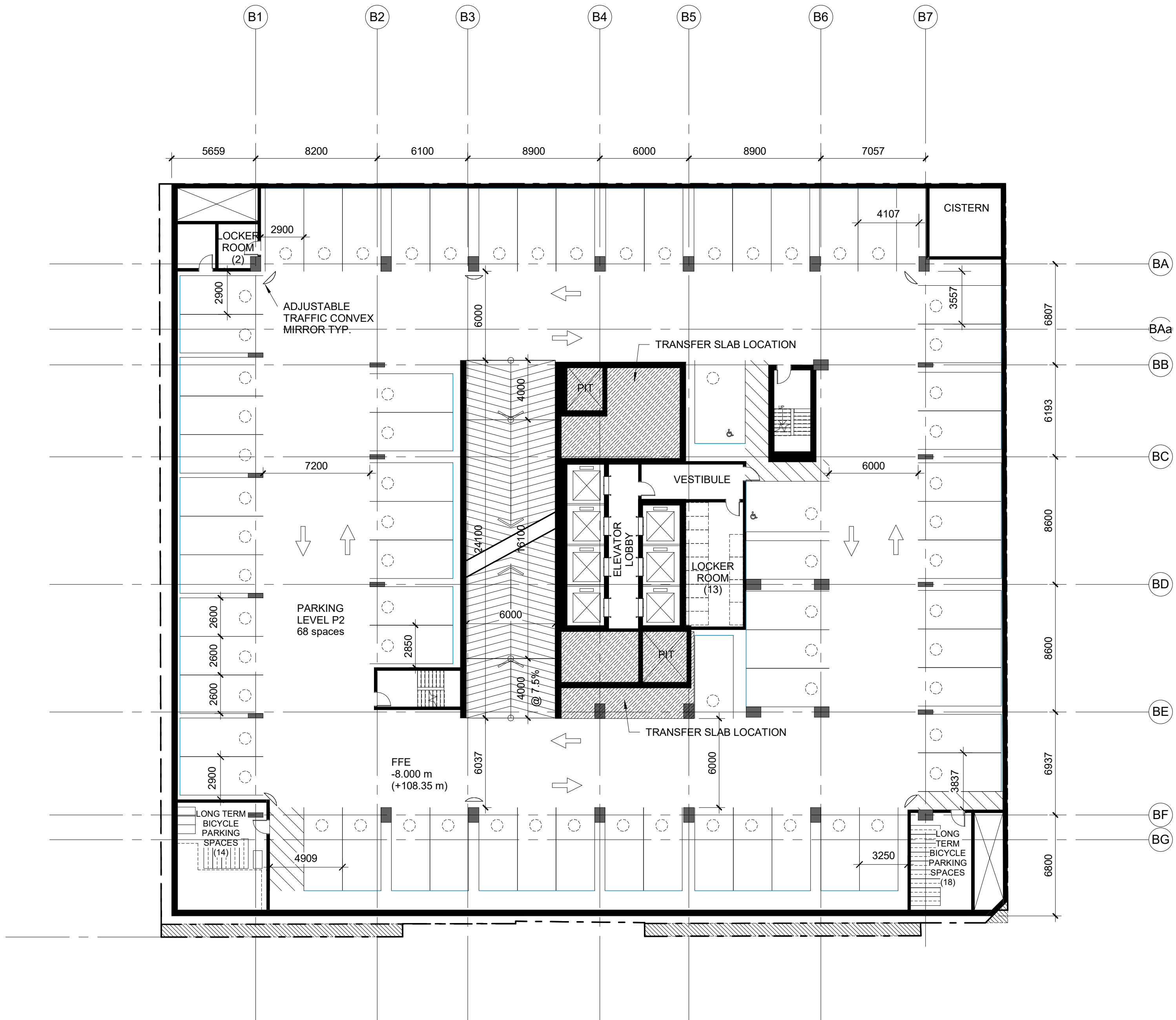
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

- REFER TO NOTES PROVIDED ON SITE PLAN A100.
- SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
- FOR BICYCLE SPACE TYPE REFER TO DWG A104.

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
P2 Floor Plan

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : AG
 CHECKED : CR
 PROJ. No. : 1734

DWG No.
A103

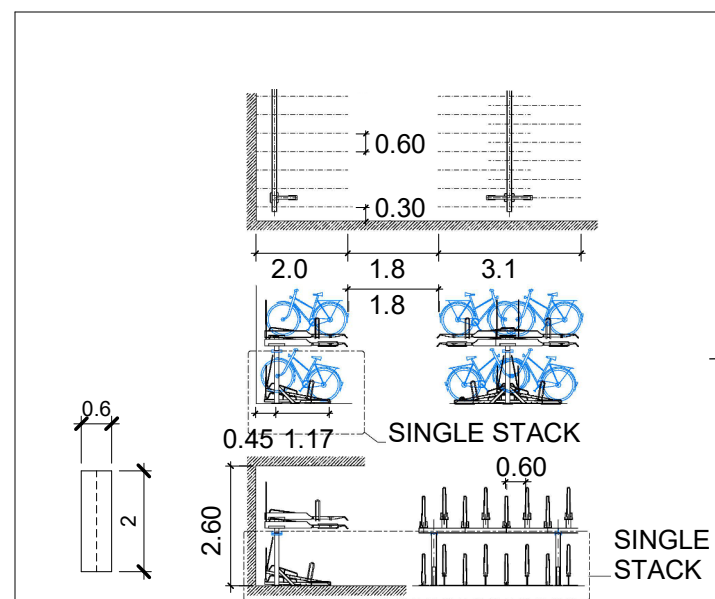
C:\Users\lance\Documents\REV\1734_11 Yorkville_20180317_R17_Lawrence.rvt 3/28/18 3:08:14 PM

DRAWING NOT TO BE SCALED

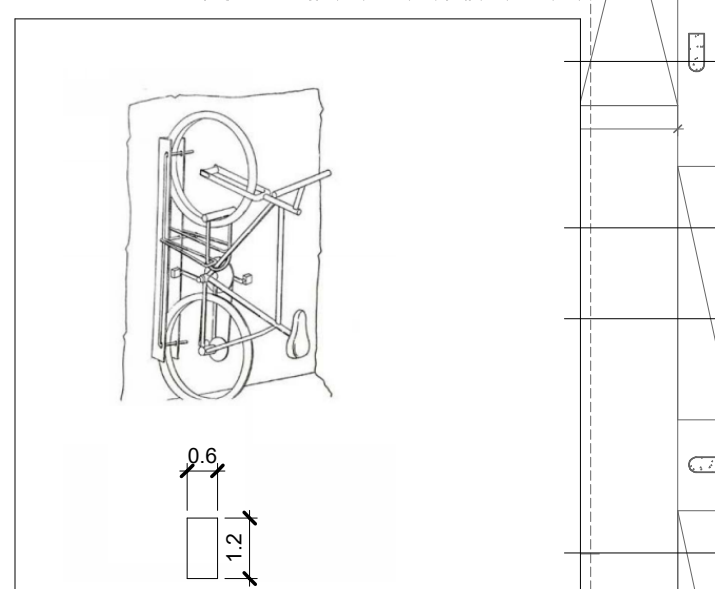
Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

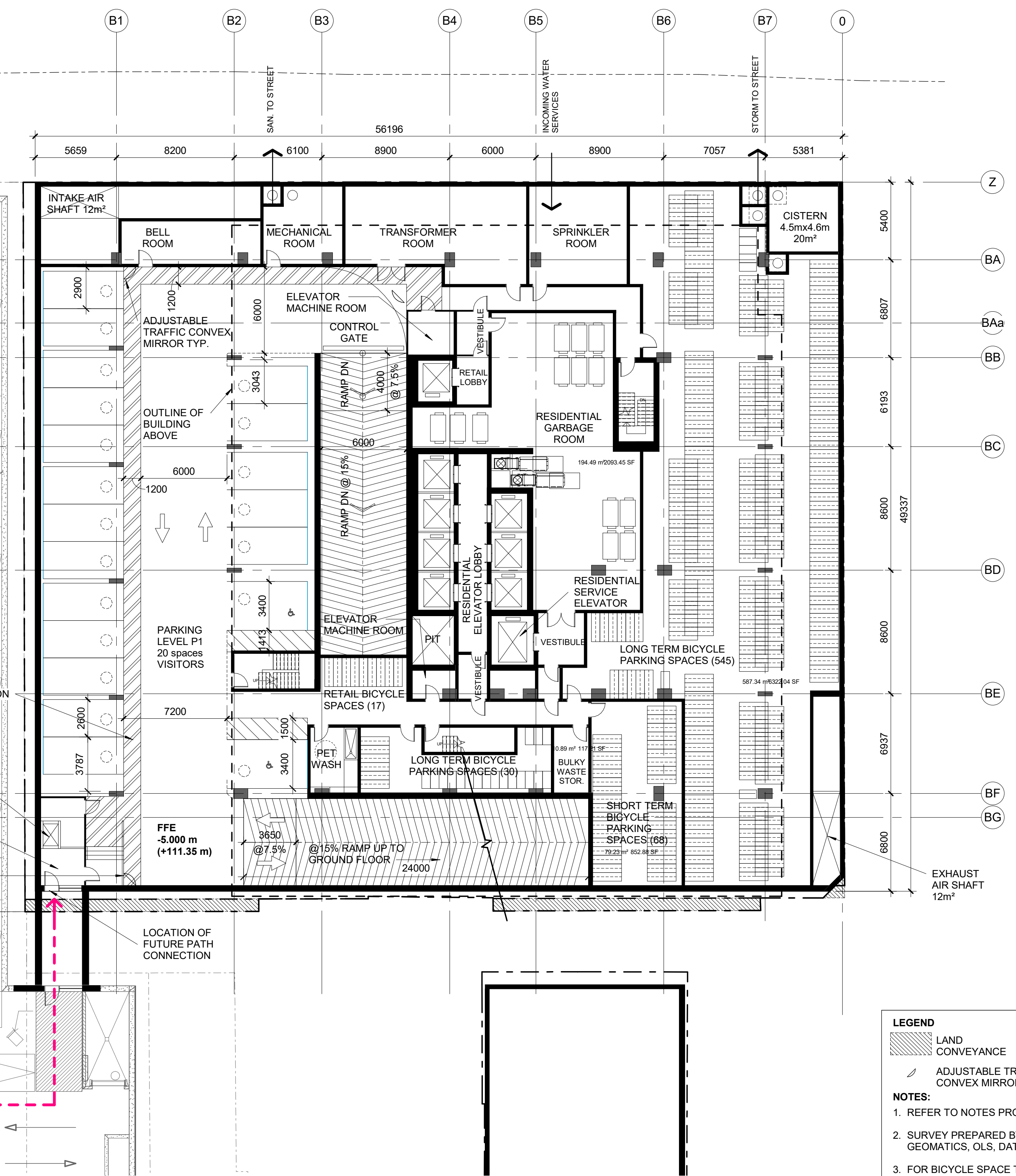
NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



TYPE H - HORIZONTAL STACK
PRODUCT: SINGLE PARKER BY JOSTA OR EQUIV.
INSTALLATION: FLOOR MOUNTED



TYPE V - VERTICAL BICYCLE SPACES
INSTALLATION: WALL MOUNTED



PAINTED DEMARCATION OF PEDESTRIAN ACCESS TO "PATH". ENHANCED LIGHTING TO BE PROVIDED.

B.F. PLATFORM LIFT

VESTIBULE FFE -5.800m

ADJUSTABLE TRAFFIC CONVEX MIRROR TYP.

LOCATION OF FUTURE PATH CONNECTION

33 Yorkville Ave
FFE +110.45 m
FUTURE PATH CONNECTION

LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

- REFER TO NOTES PROVIDED ON SITE PLAN A100.
- SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
- FOR BICYCLE SPACE TYPE REFER TO DWG A104.



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
P1 Floor Plan

DATE: 2018.05.11
SCALE: As indicated
DRAWN: AG
CHECKED: CR
PROJ. No.: 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180317_R17_Lawrence.plt 3/28/18 3:08:20 PM

YORKVILLE AVENUE

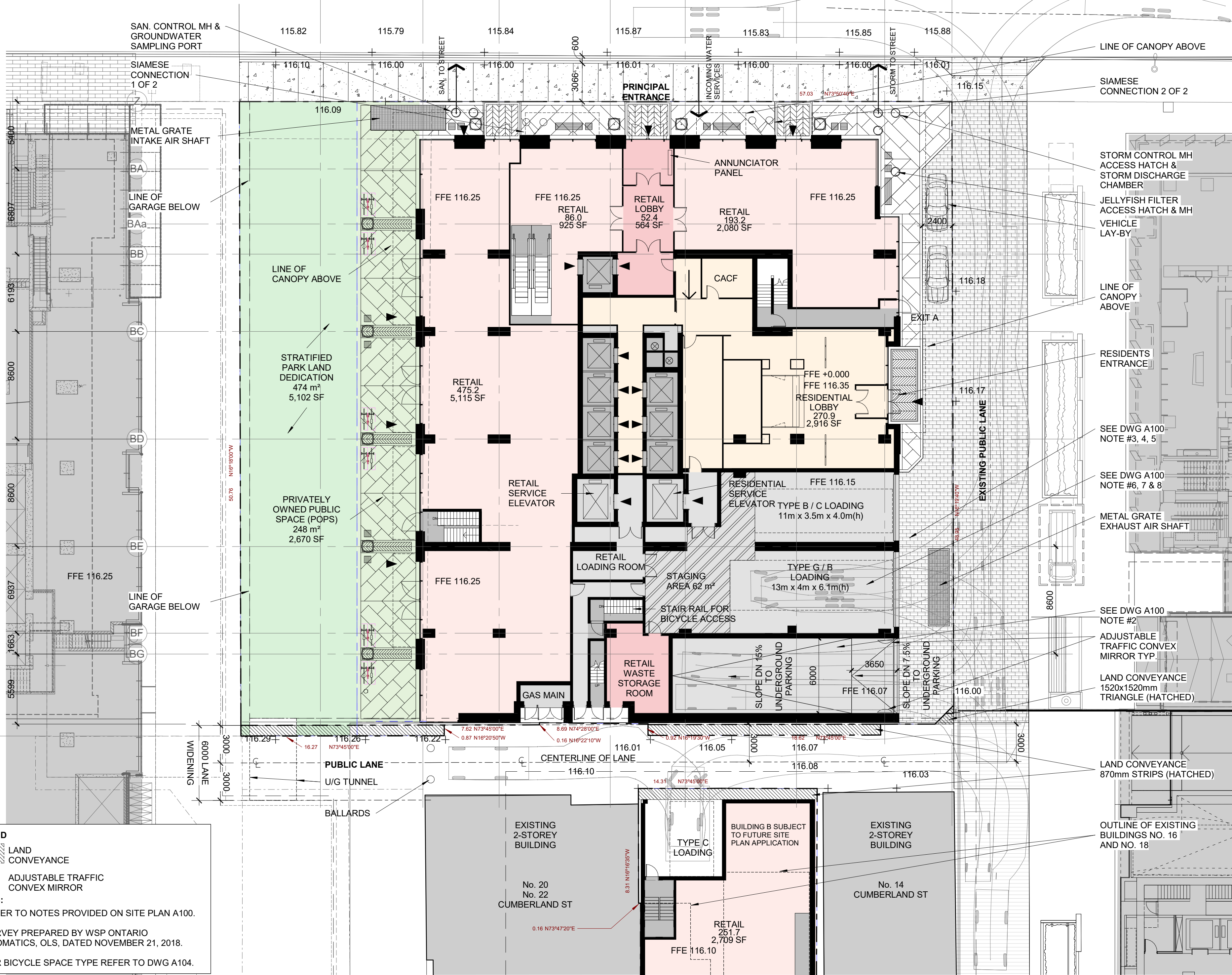
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



LEGEND

- LAND CONVEYANCE
- ADJUSTABLE TRAFFIC CONVEX MIRROR

NOTES:

- REFER TO NOTES PROVIDED ON SITE PLAN A100.
- SURVEY PREPARED BY WSP ONTARIO GEOMATICS, OLS, DATED NOVEMBER 21, 2018.
- FOR BICYCLE SPACE TYPE REFER TO DWG A104.

METROPIA
RIO CAN
REAL ESTATE INVESTMENT TRUST
CAPITAL DEVELOPMENTS

Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Ground Floor Plan

DATE : 2018.05.11
 SCALE : As indicated
 DRAWN : AG PG
 CHECKED : CR
 PROJ. No. : 1734

DWG No.
A105

C:\Users\andco\Documents\REV\1734_11 Yorkville_20180331_R17_Lawrence.plt 3/28/19 3:08:26 PM

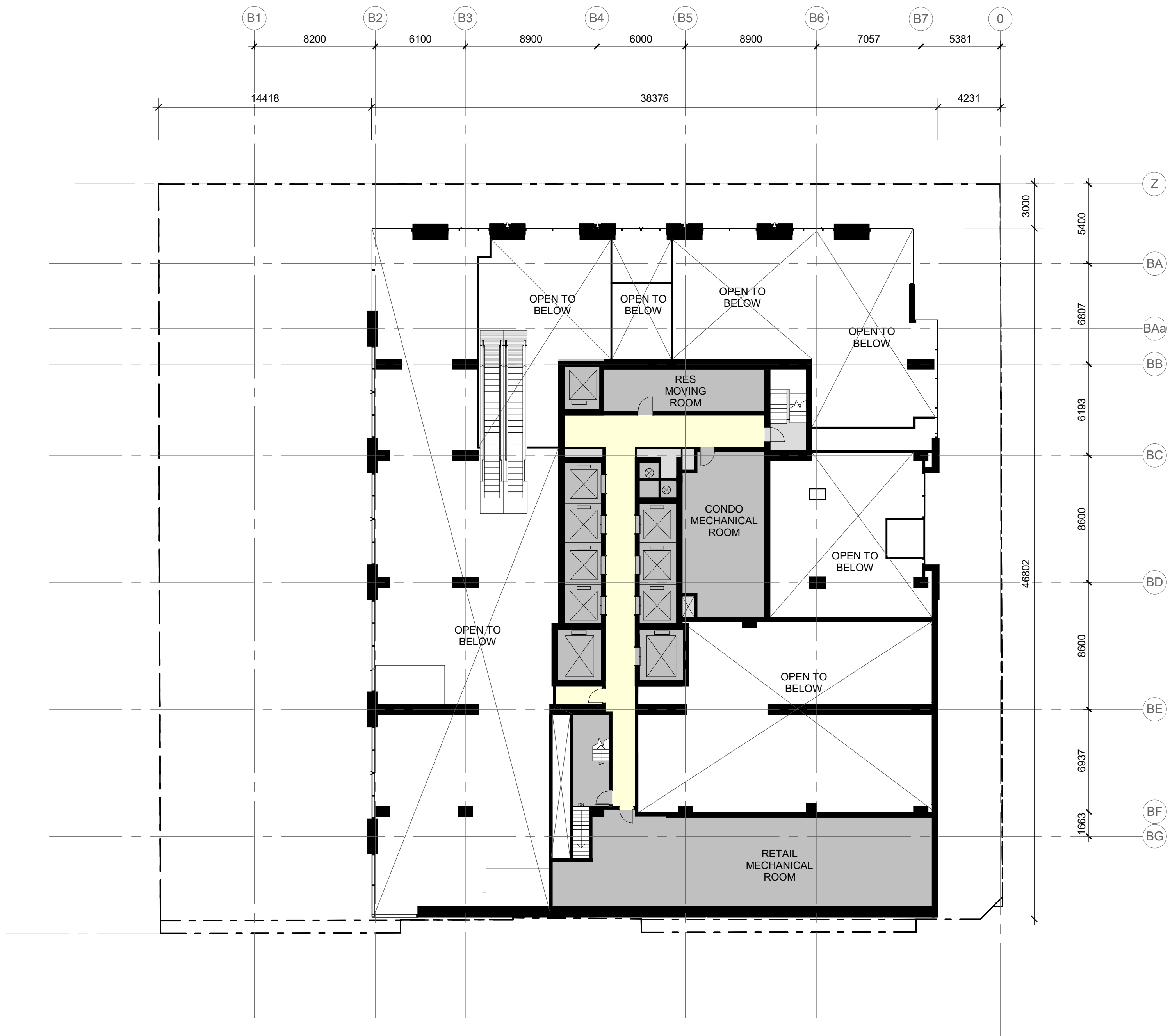
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
**Ground Floor
Mezzanine Floor Plan**

DATE : 2018.05.11
SCALE : 1 : 200
DRAWN : AG PG
CHECKED : CR
PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt

3/28/19 3:08:31 PM

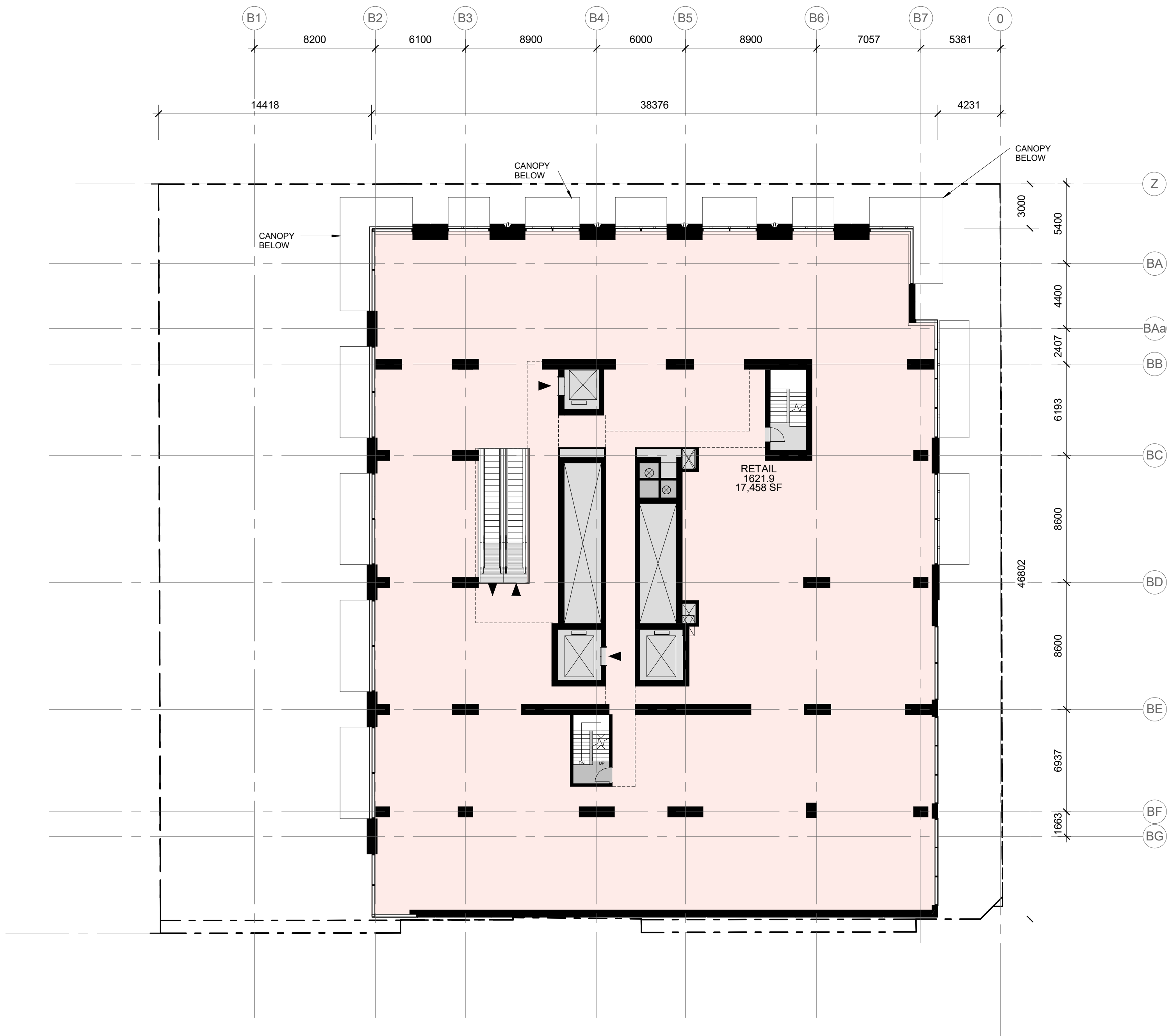
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



**Sweeny & Co
Architects**

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME

**Mixed-Use
Development**

11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER

**17 Yorkville Partners
Inc.**

DWG TITLE

**Second Floor Retail
Plan**

DATE : 2018.05.11

SCALE : 1 : 200

DRAWN : AG PG

CHECKED : CR

PROJ. No. : 1734



DWG No.
A107

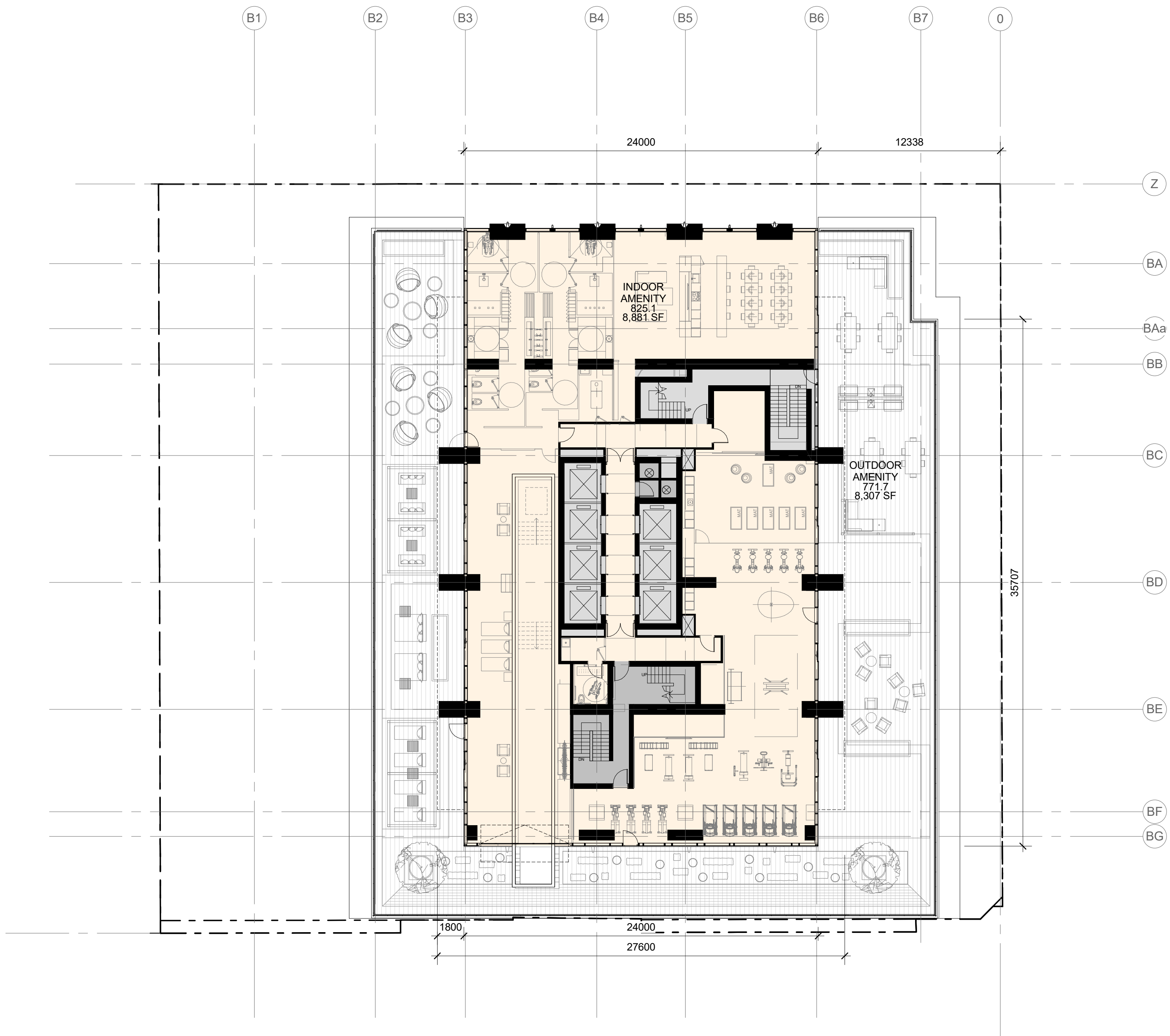
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



**Sweeny & Co
Architects**

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME

**Mixed-Use
Development**

11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER

**17 Yorkville Partners
Inc.**

DWG TITLE

**3rd Floor Plan -
Amenity**

DATE : 2018.05.11

SCALE : 1 : 200

DRAWN : AG MO PG

CHECKED : CR

PROJ. No. : 1734



DWG No.
A108

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt

3/28/19 3:06:42 PM

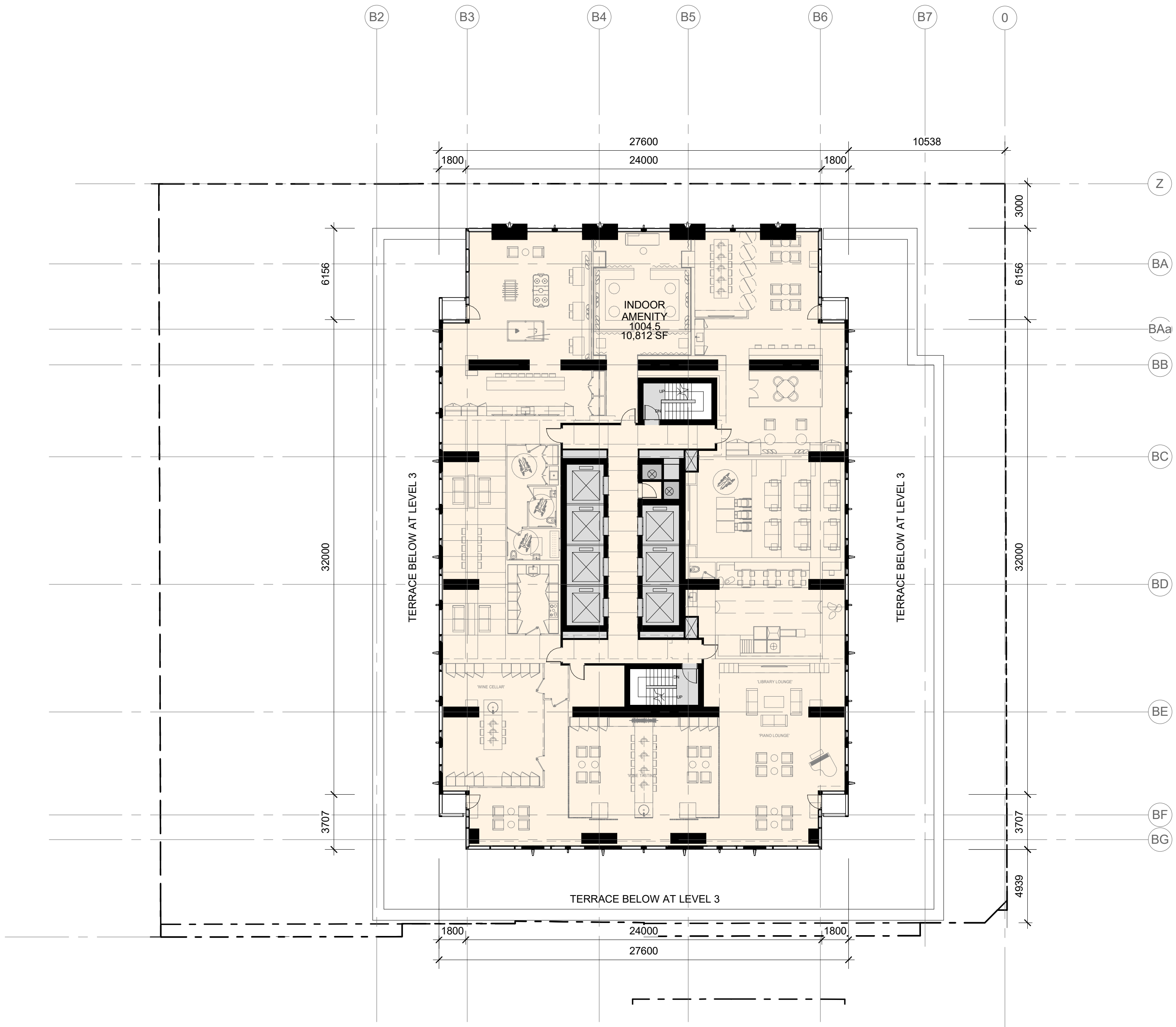
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



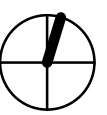
Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

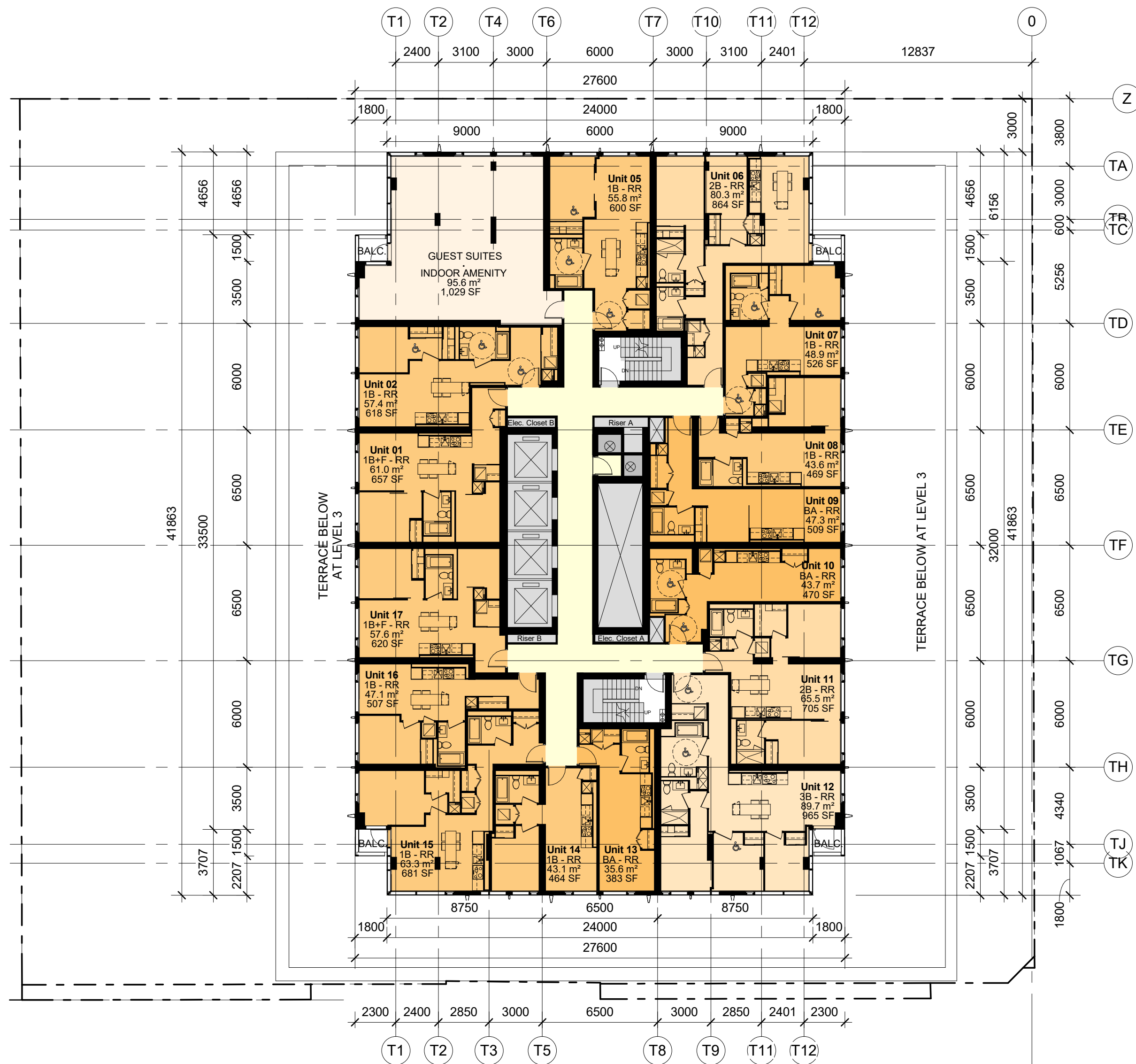
DWG TITLE
4th Floor Plan - Amenity

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : AG MO PG
 CHECKED : CR
 PROJ. No. : 1734



DWG No.
A109

	RESIDENTIAL UNIT COUNT					TFA		RENTABLE				GFA - CITY OF TORONTO BYLAW 569-2013					
	BACH	1BD	2BD	3BD	TOTAL	Area m ²	Area SF	RESIDENTIAL		NON-RESIDENTIAL		RESIDENTIAL		NON-RESIDENTIAL		TOTAL	
						Area m ²	Area SF	Area m ²	Area SF	Area m ²	Area SF	Area m ²	Area SF	Area m ²	Area SF	Area m ²	Area SF
5th Floor	3	9	2	1	15	1,119.9	12,054	839.8	9,039	0.0	0	933.6	10,048	0.0	0	933.6	10,048
6th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
7th Floor	3	9	2	2	16	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
8th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
9th Floor	4	9	3	1	17	1,119.9	12,054	935.4	10,069	0.0	0	1,029.2	11,078	0.0	0	1,029.2	11,078
SUBTOTAL	17	45	12	7	81	5,599.5	60,270	4,581.4	49,314	0.0	0	5,050.3	54,360	0.0	0	5,050.3	54,360



Level 5 - Total Floor Area	
1,119.91 m ²	12,055 SF

Level 5 - Gross Floor Area By Law 569-2013	
933.57 m ²	10,049 SF

Unit Number	Unit Type	"Tarion" Area (m ²)	"Tarion" Area (SF)
Unit 02	1B - RR	57.4 m ²	618 SF
Unit 05	1B - RR	55.78 m ²	600 SF
Unit 07	1B - RR	48.91 m ²	526 SF
Unit 08	1B - RR	43.58 m ²	469 SF
Unit 14	1B - RR	43.12 m ²	464 SF
Unit 15	1B - RR	63.27 m ²	681 SF
Unit 16	1B - RR	47.06 m ²	507 SF
7		359.12 m ²	3,866 SF
Unit 01	1B+F - RR	61 m ²	657 SF
Unit 17	1B+F - RR	57.63 m ²	620 SF
2		118.63 m ²	1,277 SF
Unit 06	2B - RR	80.26 m ²	864 SF
Unit 11	2B - RR	65.49 m ²	705 SF
2		145.76 m ²	1,569 SF
Unit 12	3B - RR	89.69 m ²	965 SF
1		89.69 m ²	965 SF
Unit 09	BA - RR	47.3 m ²	509 SF
Unit 10	BA - RR	43.71 m ²	470 SF
Unit 13	BA - RR	35.58 m ²	383 SF
3		126.59 m ²	1,363 SF
15		839.79 m ²	9,039 SF

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- NOV 5, 18 ISSUED FOR REVIEW
- NOV 23, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 4, 19 ISSUED FOR HOUSING REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
5th Floor Plan - Rental Replacement

DATE : 2018.05.11
SCALE : 1 : 200
DRAWN : MO PG
CHECKED : CR
PROJ. No. : 1734



DWG No.
A110

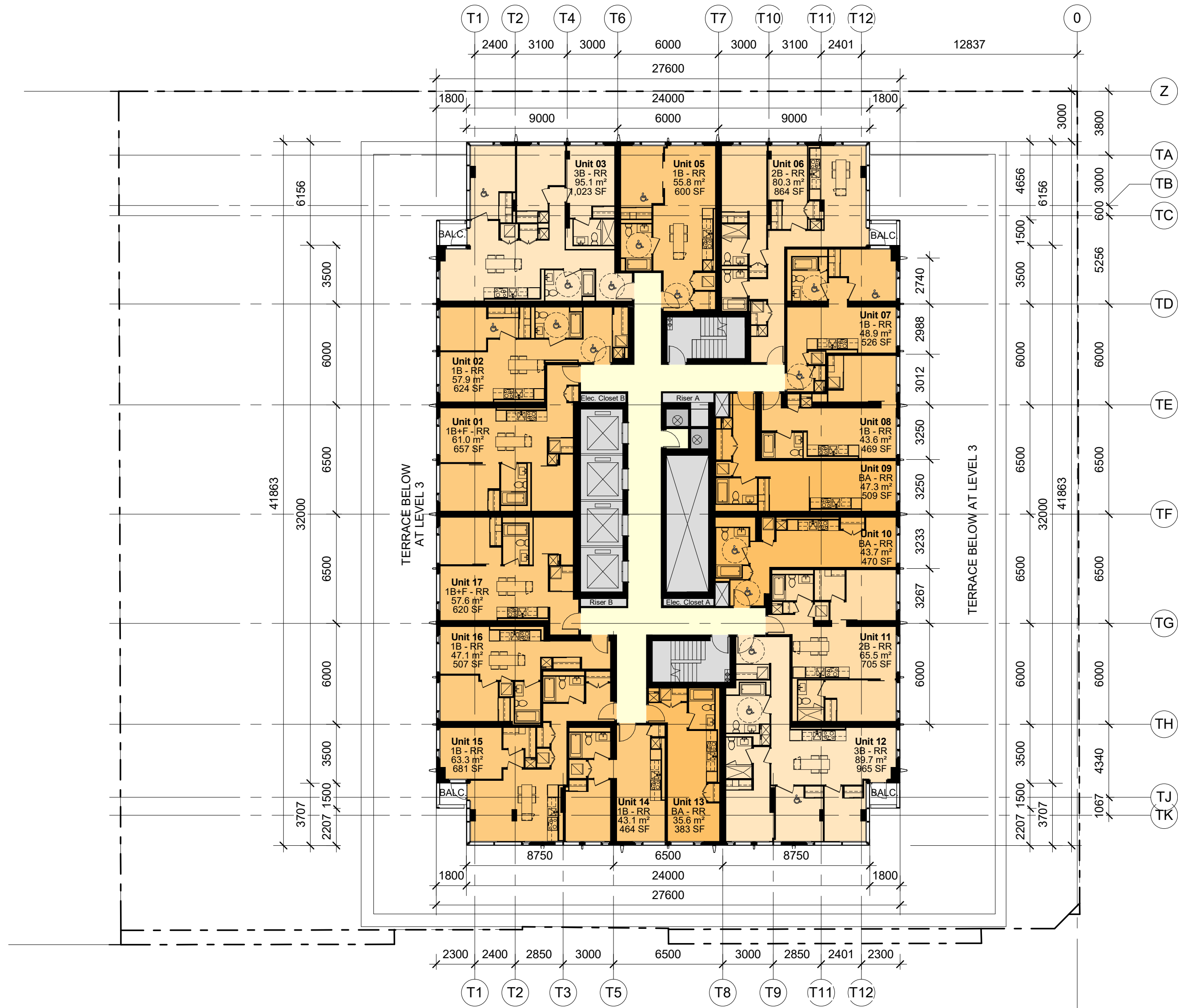
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 4, 19	ISSUED FOR HOUSING REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Level 6th, 7th - Total Floor Area	
1,119.91 m ²	12,055 SF

Level 6th, 7th - Gross Floor Area Per Zoning	
1,029.2 m ²	11,078 SF

Unit Number	Unit Type	"Tarion" Area (m ²)	"Tarion" Area (SF)
Unit 02	1B - RR	57.95 m ²	624 SF
Unit 05	1B - RR	55.78 m ²	600 SF
Unit 07	1B - RR	48.91 m ²	526 SF
Unit 08	1B - RR	43.58 m ²	469 SF
Unit 14	1B - RR	43.12 m ²	464 SF
Unit 15	1B - RR	63.27 m ²	681 SF
Unit 16	1B - RR	47.06 m ²	507 SF
7		359.67 m ²	3,871 SF
Unit 01	1B+F - RR	61 m ²	657 SF
Unit 17	1B+F - RR	57.63 m ²	620 SF
2		118.63 m ²	1,277 SF
Unit 06	2B - RR	80.26 m ²	864 SF
Unit 11	2B - RR	65.49 m ²	705 SF
2		145.76 m ²	1,569 SF
Unit 03	3B - RR	95.09 m ²	1,023 SF
Unit 12	3B - RR	89.69 m ²	965 SF
2		184.78 m ²	1,989 SF
Unit 09	BA - RR	47.3 m ²	509 SF
Unit 10	BA - RR	43.71 m ²	470 SF
Unit 13	BA - RR	35.58 m ²	383 SF
3		126.59 m ²	1,363 SF
16		935.43 m ²	10,069 SF



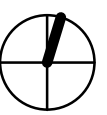
Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
6th, 7th Floor Plan - Rental Replacement

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO PG
 CHECKED : CR
 PROJ. No. : 1734



DWG No.
A111

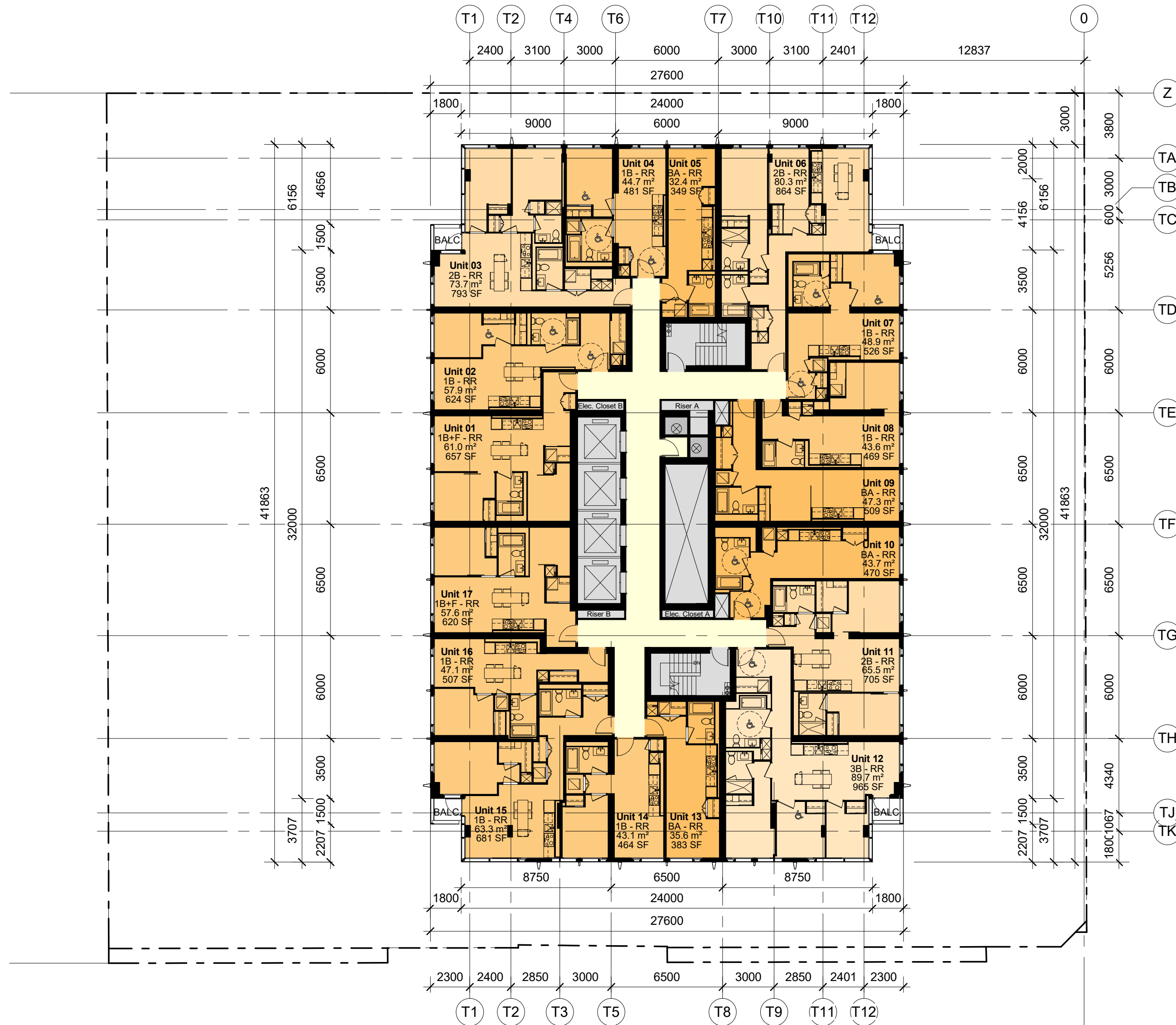
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- NOV 5, 18 ISSUED FOR REVIEW
- NOV 23, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 4, 19 ISSUED FOR HOUSING REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 8th, 9th - Total Floor Area	
1,119.91 m ²	12,055 SF

Level 8th, 9th - Gross Floor Area Per Zoning	
1,029.2 m ²	11,078 SF

Unit Number	Unit Type	"Tarion" Area (m ²)	"Tarion" Area (SF)
Unit 02	1B - RR	57.95 m ²	624 SF
Unit 04	1B - RR	44.71 m ²	481 SF
Unit 07	1B - RR	48.91 m ²	526 SF
Unit 08	1B - RR	43.58 m ²	469 SF
Unit 14	1B - RR	43.12 m ²	464 SF
Unit 15	1B - RR	63.27 m ²	681 SF
Unit 16	1B - RR	47.06 m ²	507 SF
7		348.61 m ²	3,752 SF
Unit 01	1B+F - RR	61 m ²	657 SF
Unit 17	1B+F - RR	57.63 m ²	620 SF
2		118.63 m ²	1,277 SF
Unit 03	2B - RR	73.7 m ²	793 SF
Unit 06	2B - RR	80.26 m ²	864 SF
Unit 11	2B - RR	65.49 m ²	705 SF
3		219.46 m ²	2,362 SF
Unit 12	3B - RR	89.69 m ²	965 SF
1		89.69 m ²	965 SF
Unit 05	BA - RR	32.45 m ²	349 SF
Unit 09	BA - RR	47.3 m ²	509 SF
Unit 10	BA - RR	43.71 m ²	470 SF
Unit 13	BA - RR	35.58 m ²	383 SF
4		159.03 m ²	1,712 SF
17		935.43 m ²	10,069 SF



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
8th, 9th Floor Plan - Rental Replacement

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO PG
 CHECKED : CR
 PROJ. No. : 1734



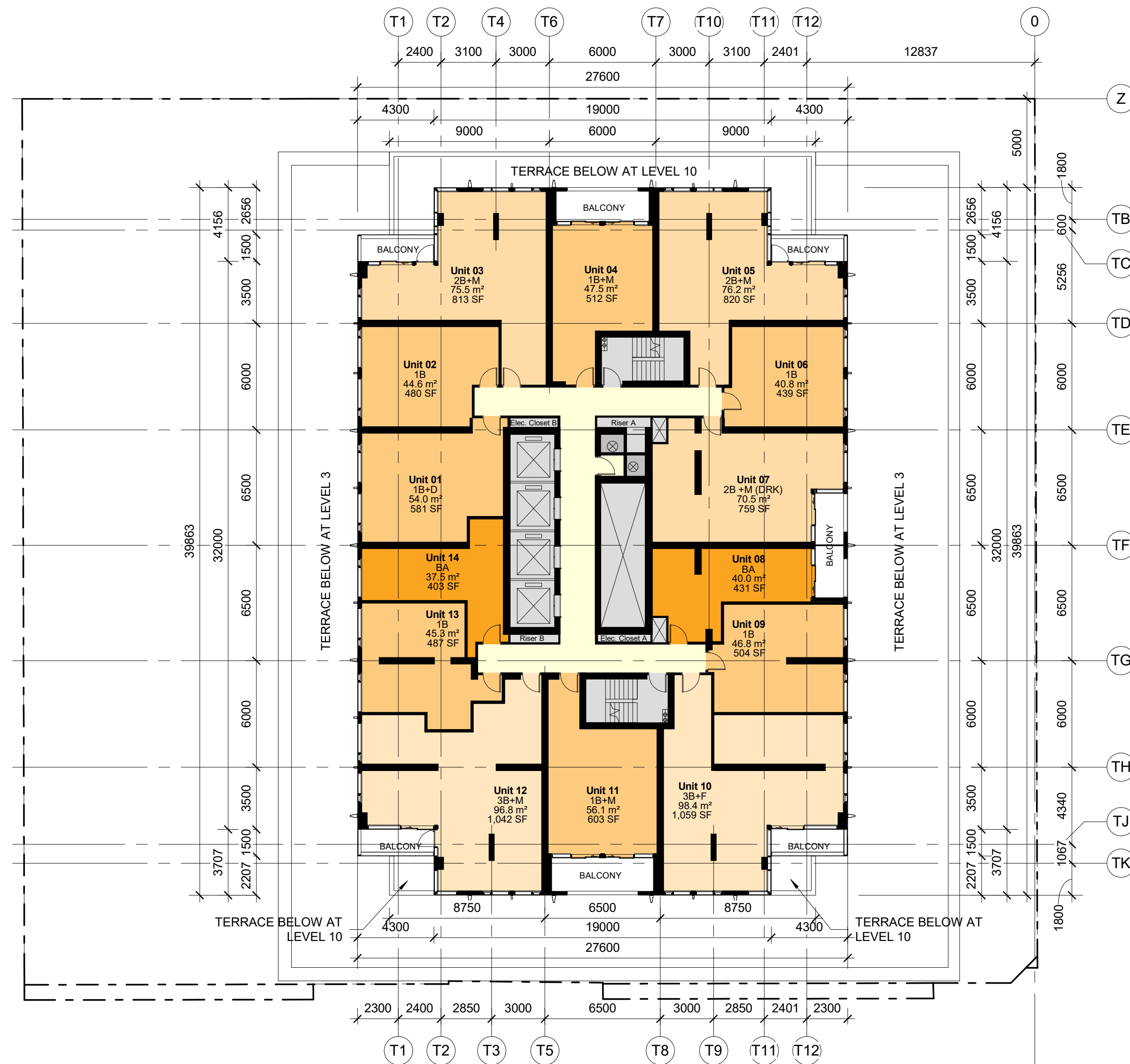
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Level 10th to 23rd Typical - Total Floor Area	
999.98 m ²	10,764 SF
Level 10th to 23rd Typical - Gross Floor Area By Law 569-2013	
912.45 m ²	9,822 SF

Level 10th to 23rd Typical - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 02	1B	44.56 m ²	480 SF
Unit 06	1B	40.75 m ²	439 SF
Unit 09	1B	46.79 m ²	504 SF
Unit 13	1B	45.28 m ²	487 SF
4		177.38 m ²	1,909 SF
Unit 01	1B+D	53.97 m ²	581 SF
1		53.97 m ²	581 SF
Unit 04	1B+M	47.55 m ²	512 SF
Unit 11	1B+M	56.06 m ²	603 SF
2		103.61 m ²	1,115 SF
Unit 07	2B+M (DRK)	70.54 m ²	759 SF
1		70.54 m ²	759 SF
Unit 03	2B+M	75.55 m ²	813 SF
Unit 05	2B+M	76.21 m ²	820 SF
2		151.76 m ²	1,633 SF
Unit 10	3B+F	98.38 m ²	1,059 SF
1		98.38 m ²	1,059 SF
Unit 12	3B+M	96.8 m ²	1,042 SF
1		96.8 m ²	1,042 SF
Unit 14	BA	37.46 m ²	403 SF
Unit 08	BA	40 m ²	431 SF
2		77.45 m ²	834 SF
14		829.88 m ²	8,933 SF

Net / Gross = 0.91



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
10th to 23rd - Typical Floor Plan

DATE : 2018.05.11
SCALE : 1 : 200
DRAWN : MO LL
CHECKED : CR
PROJ. No. : 1734



DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- JAN 26, 18 ISSUED FOR COORDINATION
- MAR 02, 18 ISSUED FOR COORDINATION
- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- NOV 5, 18 ISSUED FOR REVIEW
- NOV 23, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 24th to 27th Typical - Total Floor Area	
879.83 m ²	9,470 SF

Level 24th to 27th Typical - Gross Floor Area By Law 569-2013	
790.59 m ²	8,510 SF

Level 24th to 27th Typical - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 01	1B	45.72 m ²	492 SF
1		45.72 m ²	492 SF
Unit 09	1B+D	54.27 m ²	584 SF
1		54.27 m ²	584 SF
Unit 03	1B+F	58.08 m ²	625 SF
1		58.08 m ²	625 SF
Unit 07	1B+M	53.66 m ²	578 SF
Unit 04	1B+M	58.95 m ²	635 SF
2		112.61 m ²	1,212 SF
Unit 06	2B	75.55 m ²	813 SF
Unit 12	2B	64.6 m ²	695 SF
2		140.15 m ²	1,509 SF
Unit 10	2B (DRK)	69.71 m ²	750 SF
1		69.71 m ²	750 SF
Unit 05	2B+M	78.78 m ²	848 SF
Unit 11	2B+M	77.08 m ²	830 SF
2		155.85 m ²	1,678 SF
Unit 02	BA	37.16 m ²	400 SF
Unit 08	BA	38.21 m ²	411 SF
2		75.37 m ²	811 SF
12		711.76 m ²	7,661 SF

Net / Gross = 0.89



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
24th to 28th - Typical Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO LL
 CHECKED : CR
 PROJ. No. : 1734



DWG No.
A114

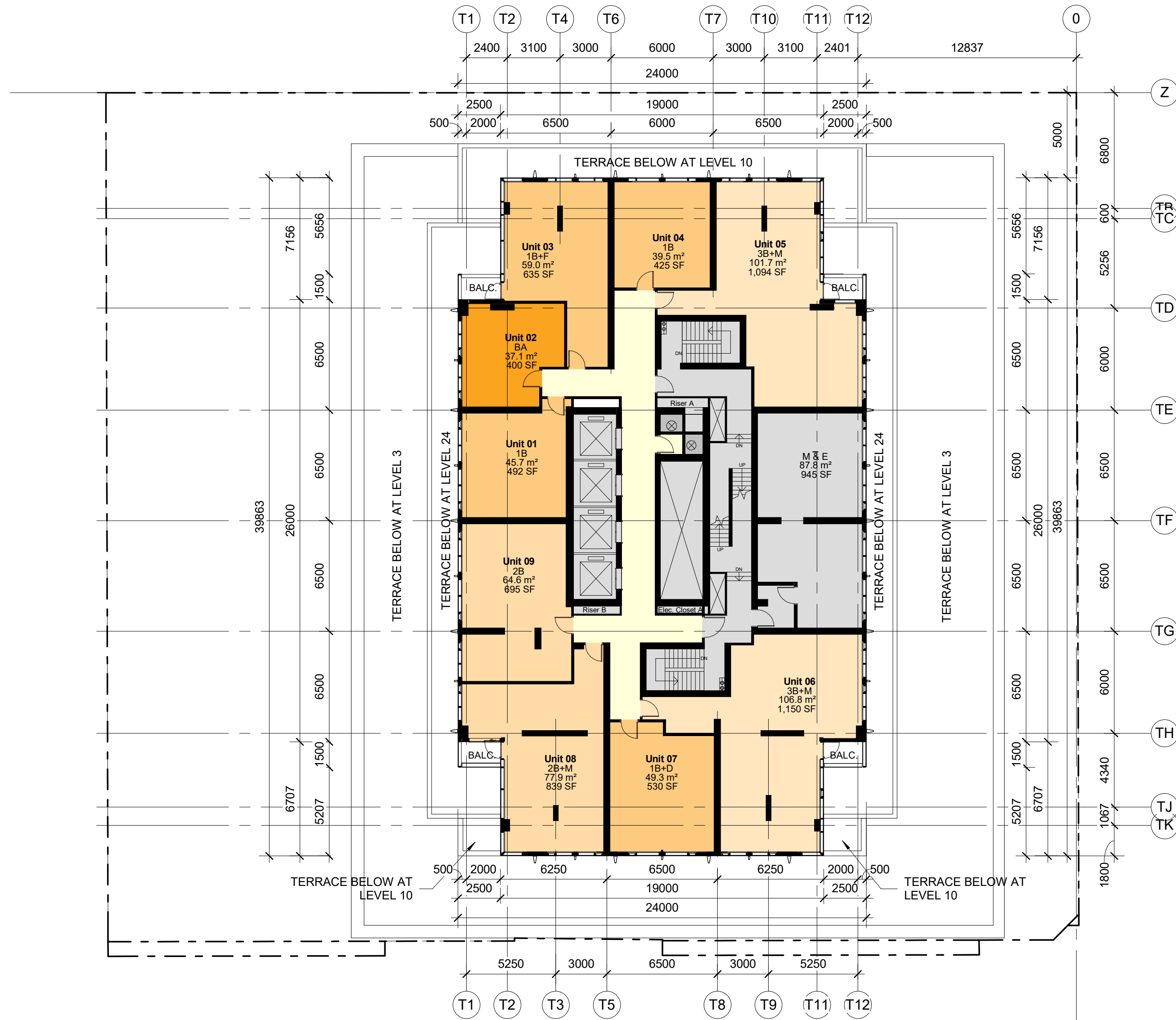
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- JAN 16, 18 ISSUED FOR REVIEW
- JAN 26, 18 ISSUED FOR COORDINATION
- MAR 02, 18 ISSUED FOR COORDINATION
- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- NOV 5, 18 ISSUED FOR REVIEW
- NOV 23, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 29 - Total Floor Area	
885.57 m ²	9,532 SF
Level 29 - Gross Floor Area By Law 569-2013	
751.18 m ²	8,086 SF

Level 29 - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 04	1B	39.46 m ²	425 SF
Unit 01	1B	45.74 m ²	492 SF
2		85.2 m ²	917 SF
Unit 07	1B+D	49.28 m ²	530 SF
1		49.28 m ²	530 SF
Unit 03	1B+F	58.97 m ²	635 SF
1		58.97 m ²	635 SF
Unit 09	2B	64.6 m ²	695 SF
1		64.6 m ²	695 SF
Unit 08	2B+M	77.93 m ²	839 SF
1		77.93 m ²	839 SF
Unit 06	3B+M	106.81 m ²	1,150 SF
Unit 05	3B+M	101.68 m ²	1,094 SF
2		208.49 m ²	2,244 SF
Unit 02	BA	37.14 m ²	400 SF
1		37.14 m ²	400 SF
9		37.14 m ²	400 SF
		37.14 m ² / Gross = 0.84 F	
		581.62 m ²	6,260 SF



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
29th Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO
 CHECKED : CR
 PROJ. No. : 1734



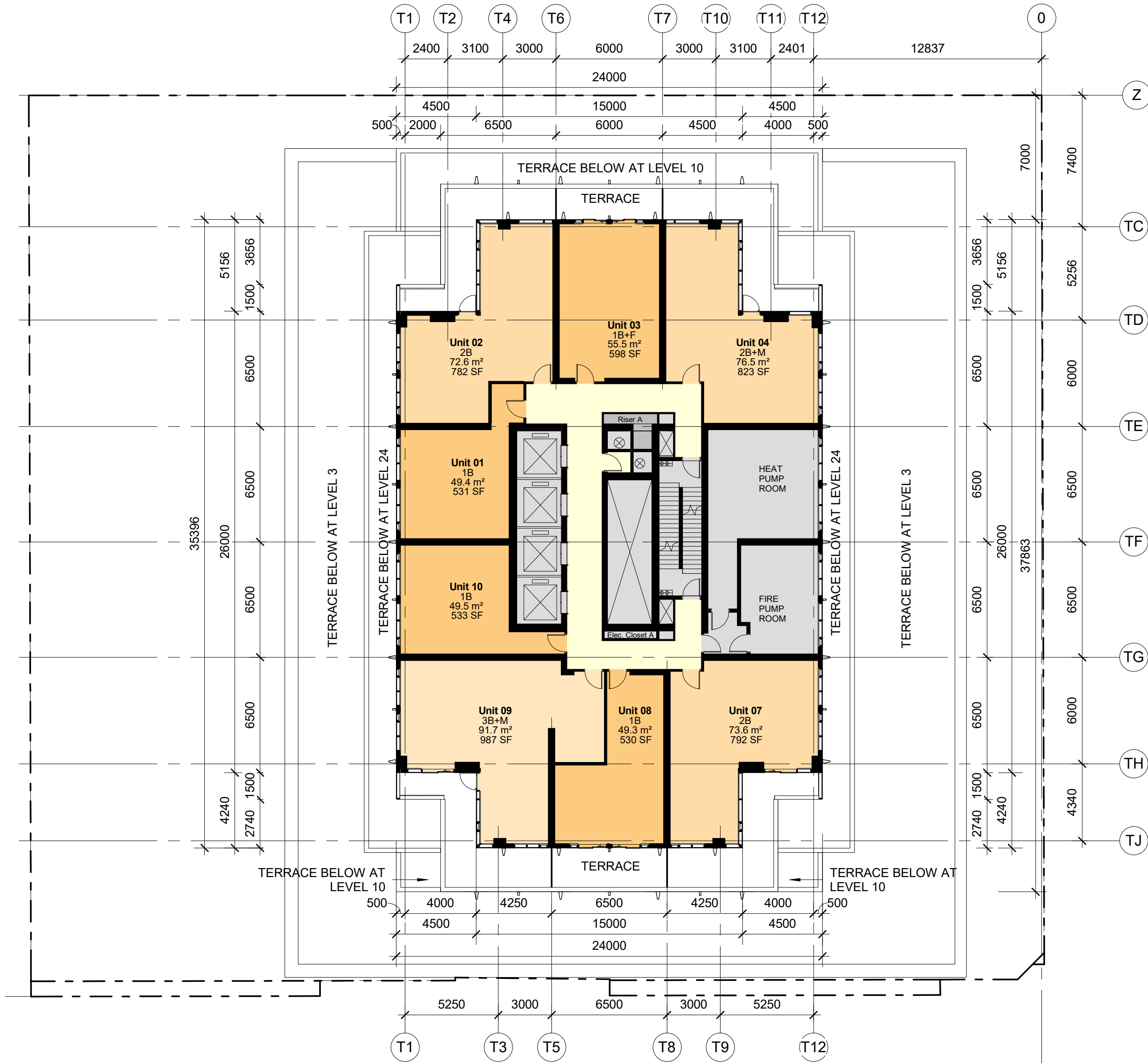
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

FEB 5, 19 FOR REVIEW
 MAR 22, 19 ISSUED FOR COORDINATION
 MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 30 - Total Floor Area	
764.95 m ²	8,234 SF
Level 30 - Gross Floor Area By Law 569-2013	
681.38 m ²	7,334 SF

Level 30 - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 01	1B	49.36 m ²	531 SF
Unit 08	1B	49.25 m ²	530 SF
Unit 10	1B	49.48 m ²	533 SF
		148.09 m ²	1,594 SF
Unit 03	1B+F	55.54 m ²	598 SF
1		55.54 m ²	598 SF
Unit 02	2B	72.61 m ²	782 SF
Unit 07	2B	73.6 m ²	792 SF
2		146.21 m ²	1,574 SF
Unit 04	2B+M	76.46 m ²	823 SF
1		76.46 m ²	823 SF
Unit 09	3B+M	91.67 m ²	987 SF
1		91.67 m ²	987 SF
8		517.97 m ²	5,575 SF



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
30th Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt 3/28/19 3:07:45 PM

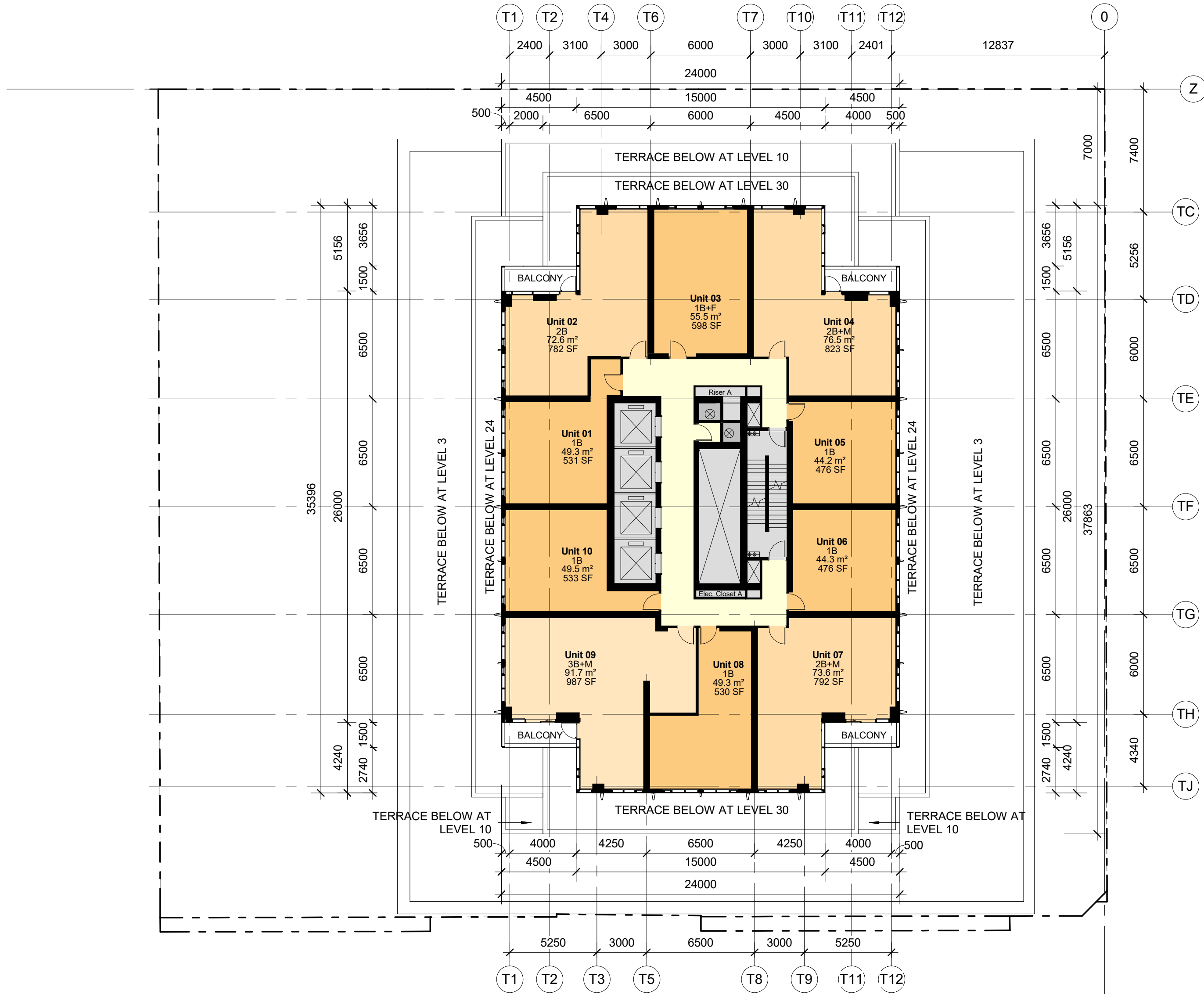
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- JAN 16, 18 ISSUED FOR REVIEW
- JAN 26, 18 ISSUED FOR COORDINATION
- MAR 02, 18 ISSUED FOR COORDINATION
- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- NOV 5, 18 ISSUED FOR REVIEW
- NOV 23, 18 ISSUED FOR REVIEW
- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 31-39 - Total Floor Area	
764.94 m ²	8,234 SF

Level 31-39 - Gross Floor Area By Law 569-2013	
680.69 m ²	7,327 SF

Level 31-39 - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m2)	Saleable Area (SF)
Unit 01	1B	49.35 m ²	531 SF
Unit 08	1B	49.25 m ²	530 SF
Unit 06	1B	44.26 m ²	476 SF
Unit 10	1B	49.48 m ²	533 SF
Unit 05	1B	44.23 m ²	476 SF
5		236.57 m ²	2,546 SF
Unit 03	1B+F	55.54 m ²	598 SF
1		55.54 m ²	598 SF
Unit 02	2B	72.62 m ²	782 SF
1		72.62 m ²	782 SF
Unit 07	2B+M	73.6 m ²	792 SF
Unit 04	2B+M	76.46 m ²	823 SF
2		150.06 m ²	1,615 SF
Unit 09	3B+M	91.67 m ²	987 SF
1		91.67 m ²	987 SF
10		606.46 m ²	6,528 SF

Net / Gross = 0.89



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
31st to 39th - Typical Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO
 CHECKED : CR
 PROJ. No. : 1734



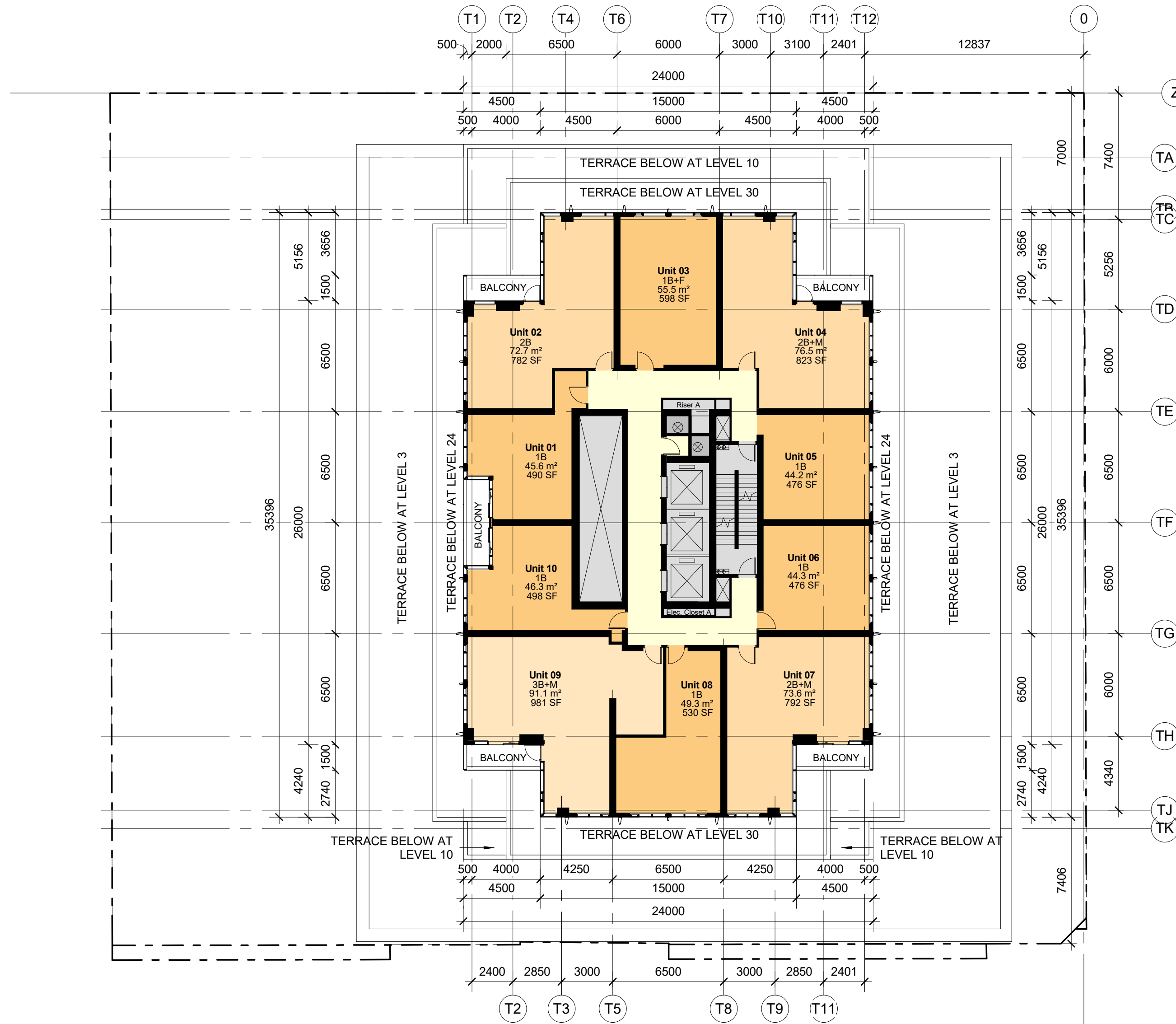
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- DEC 12, 18 ISSUED FOR COORDINATION
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- FEB 5, 19 FOR REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 40 to 41 - Total Floor Area	
757.44 m ²	8,153 SF

Level 40 to 41 - Gross Floor Area By Law 569-2013	
673.17 m ²	7,246 SF

Level 40 to 41 - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 01	1B	45.56 m ²	490 SF
Unit 08	1B	49.25 m ²	530 SF
Unit 06	1B	44.26 m ²	476 SF
Unit 10	1B	46.3 m ²	498 SF
Unit 05	1B	44.24 m ²	476 SF
5		229.6 m ²	2,471 SF
Unit 03	1B+F	55.54 m ²	598 SF
1		55.54 m ²	598 SF
Unit 02	2B	72.66 m ²	782 SF
1		72.66 m ²	782 SF
Unit 07	2B+M	73.6 m ²	792 SF
Unit 04	2B+M	76.46 m ²	823 SF
2		150.06 m ²	1,615 SF
Unit 09	3B+M	91.11 m ²	981 SF
1		91.11 m ²	981 SF
10		598.96 m ²	6,447 SF

Net / Gross = 0.89



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
40th, 41st Floor Plans

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



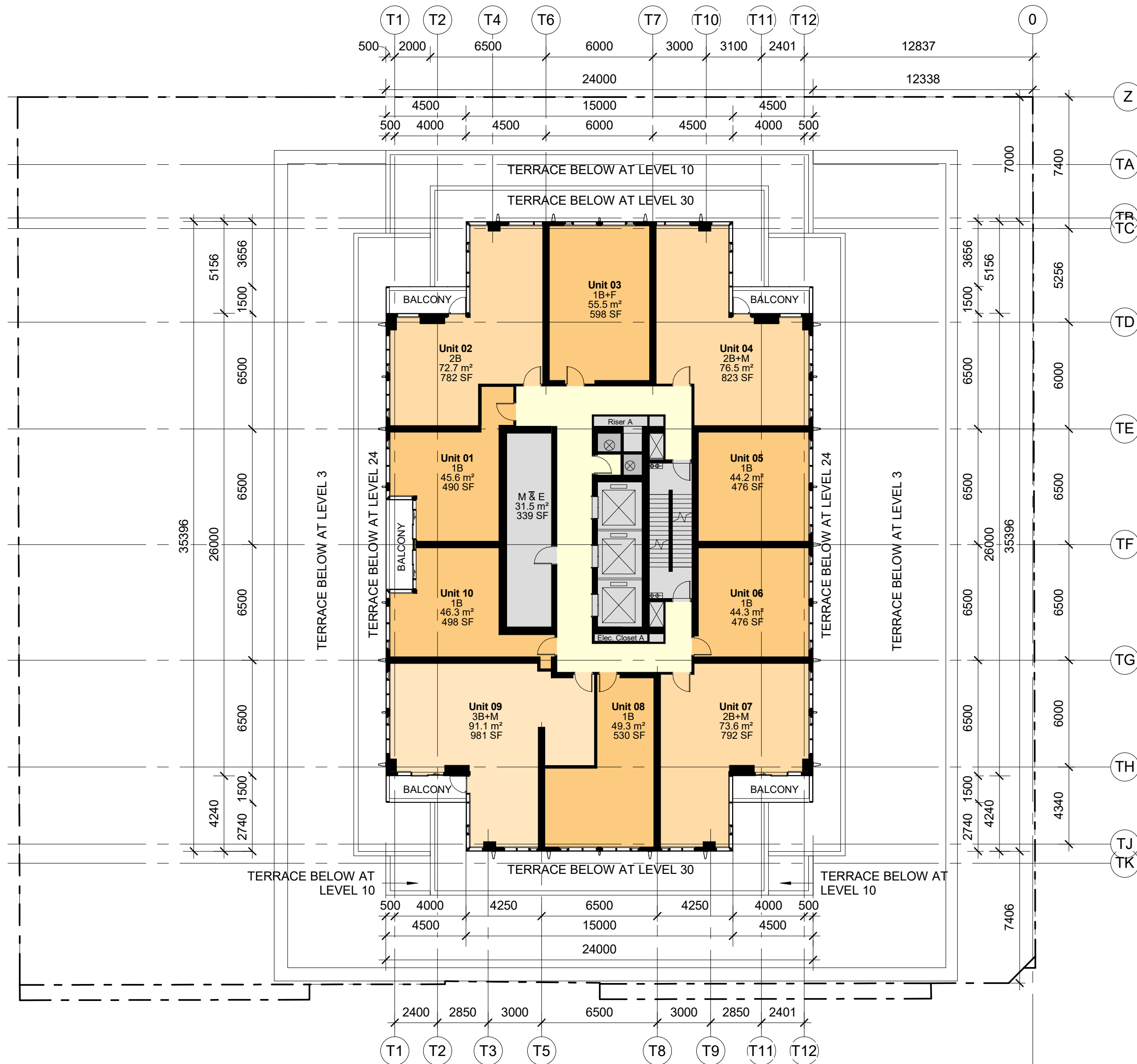
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

DEC 12, 18 ISSUED FOR COORDINATION
 DEC 19, 18 ISSUED FOR ZBA AND SPA
 JAN 18, 19 ISSUED FOR REVIEW
 FEB 5, 19 FOR REVIEW
 MAR 22, 19 ISSUED FOR COORDINATION
 MAR 28, 19 ISSUED FOR ZBA AND SPA



Level 43 - Total Floor Area	
757.44 m ²	8,153 SF
Level 43 - Gross Floor Area By Law 569-2013	
704.69 m ²	7,585 SF

Level 43 - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m ²)	Saleable Area (SF)
Unit 01	1B	45.56 m ²	490 SF
Unit 08	1B	49.25 m ²	530 SF
Unit 06	1B	44.26 m ²	476 SF
Unit 10	1B	46.3 m ²	498 SF
Unit 05	1B	44.23 m ²	476 SF
5		229.6 m ²	2,471 SF
Unit 03	1B+F	55.54 m ²	598 SF
1		55.54 m ²	598 SF
Unit 02	2B	72.66 m ²	782 SF
1		72.66 m ²	782 SF
Unit 07	2B+M	73.6 m ²	792 SF
Unit 04	2B+M	76.46 m ²	823 SF
2		150.06 m ²	1,615 SF
Unit 09	3B+M	91.11 m ²	981 SF
1		91.11 m ²	981 SF
10		598.96 m ²	6,447 SF

Net / Gross = 0.93



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
42nd & 43rd Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No.
A119

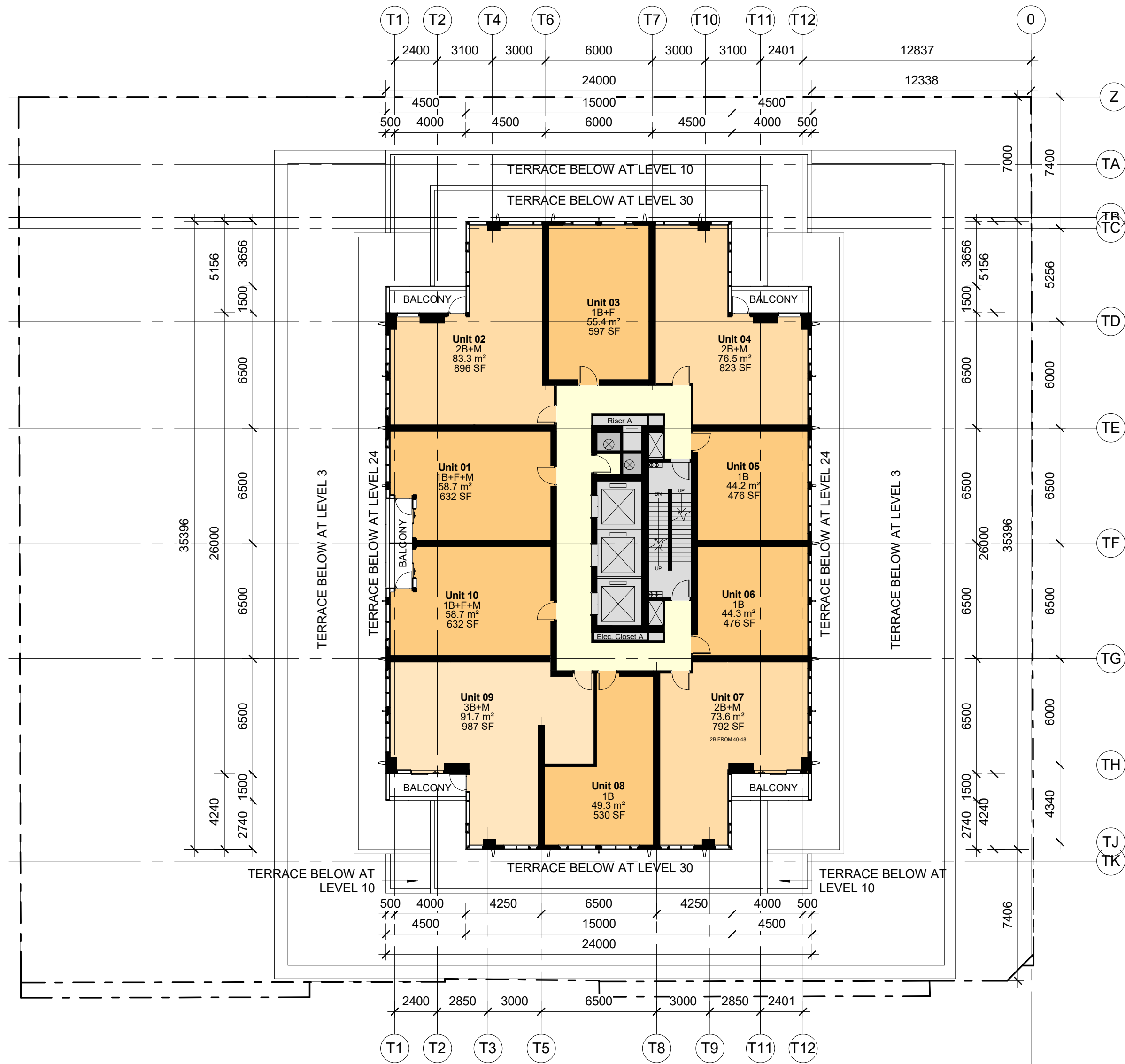
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Level 40th to 62nd Typical - Total Floor Area	
757.44 m²	8,153 SF

Level 40th to 62nd Typical - Gross Floor Area By Law 569-2013	
704.69 m²	7,585 SF

Level 40th to 62nd Typical - Saleable Area and Unit Type			
Unit Number	Unit Type	Saleable Area (m2)	Saleable Area (SF)
Unit 08	1B	49.25 m²	530 SF
Unit 05	1B	44.23 m²	476 SF
Unit 06	1B	44.26 m²	476 SF
3		137.74 m²	1,483 SF
Unit 03	1B+F	55.44 m²	597 SF
1		55.44 m²	597 SF
Unit 01	1B+F+M	58.74 m²	632 SF
Unit 10	1B+F+M	58.74 m²	632 SF
2		117.49 m²	1,265 SF
Unit 02	2B+M	83.28 m²	896 SF
Unit 07	2B+M	73.6 m²	792 SF
Unit 04	2B+M	76.46 m²	823 SF
3		233.34 m²	2,512 SF
Unit 09	3B+M	91.67 m²	987 SF
1		91.67 m²	987 SF
10		635.67 m²	6,842 SF

Net / Gross = 0.93



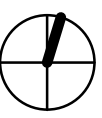
Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
44th to 62nd Floor Plans

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO LL
 CHECKED : CR
 PROJ. No. : 1734



DWG No.
A120

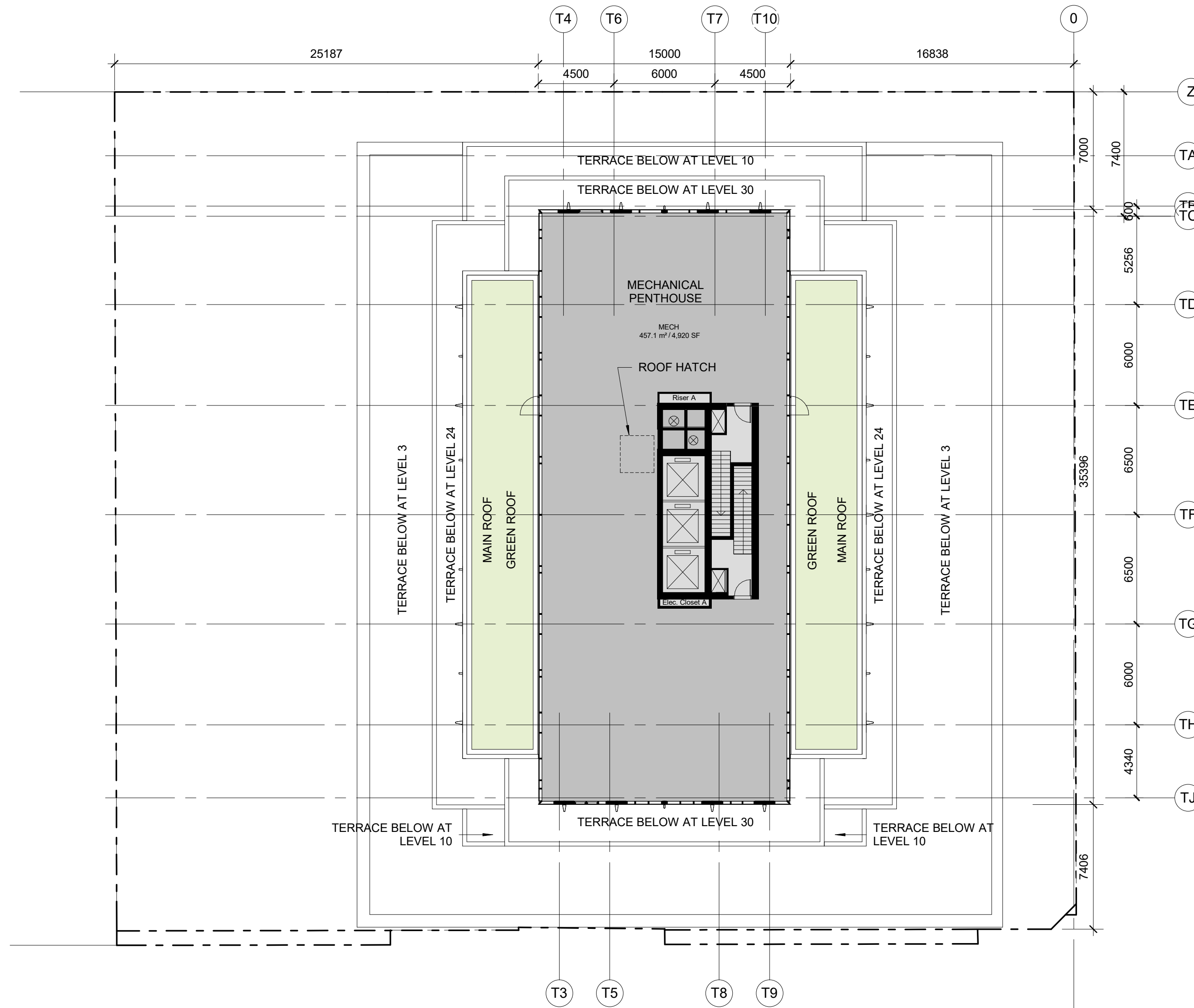
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
NOV 5, 18	ISSUED FOR REVIEW
NOV 23, 18	ISSUED FOR REVIEW
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt

3/28/19 3:08:27 PM



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
Mechanical Penthouse Floor Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO PG
 CHECKED : CR
 PROJ. No. : 1734



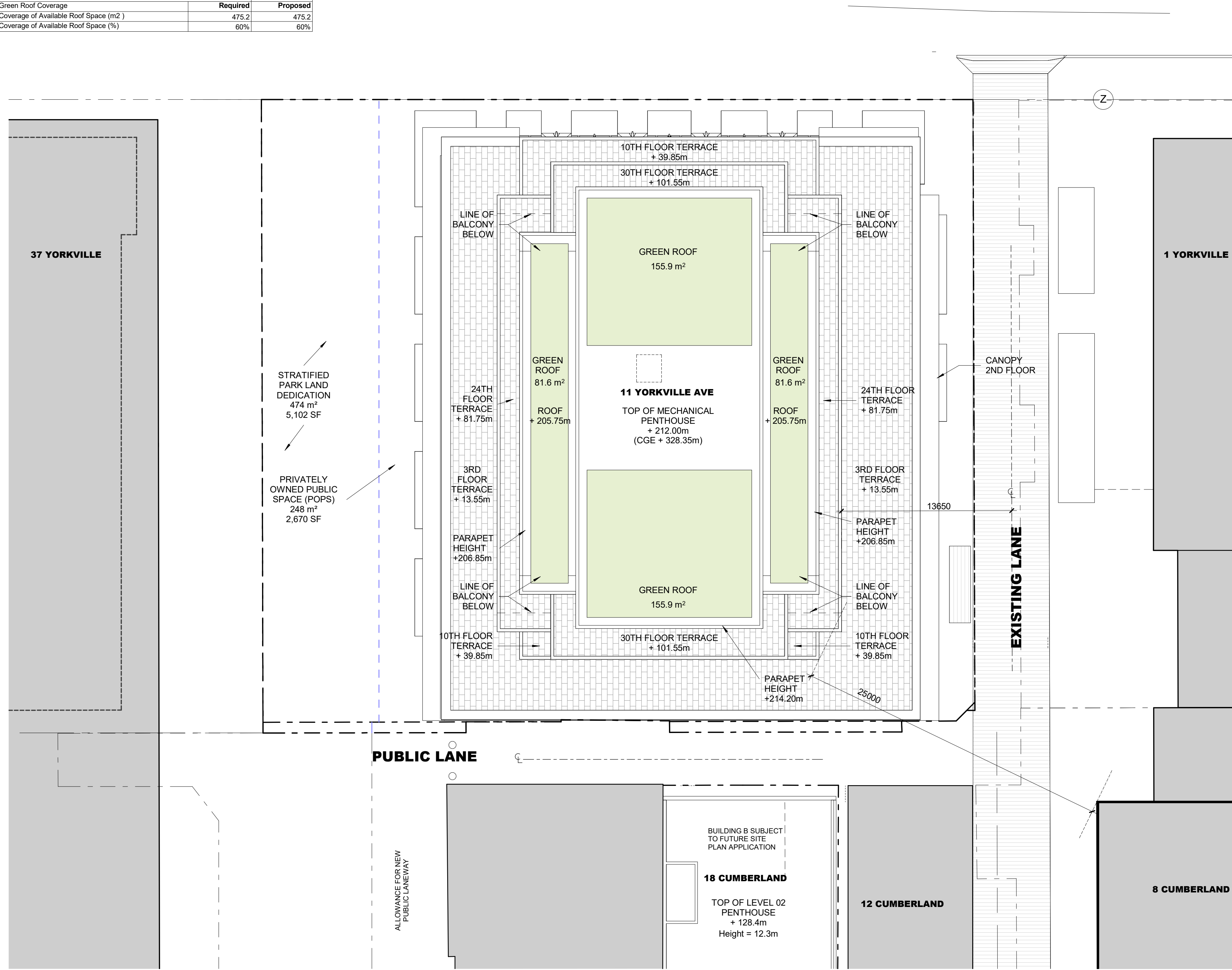


City Planning Division

Green Roof Statistics

Green Roof Statistics - Building A		Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m ²)		48,590.2
Total Roof Area (m ²)		1,785.3
Area of Residential Private Terraces (m ²)		338.8
Rooftop Outdoor Amenity Space, if in a Residential Building (m ²)		654.5
Area of Renewable Energy Devices (m ²)		0.0
Tower (s)Roof Area with floor plate less than 750 m ²		0.0
Total Available Roof Space (m ²)		791.9
Green Roof Coverage	Required	Proposed
Coverage of Available Roof Space (m ²)	475.2	475.2
Coverage of Available Roof Space (%)	60%	60%

YORKVILLE AVE



DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
FEB 5, 19	FOR REVIEW
FEB 25, 19	FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

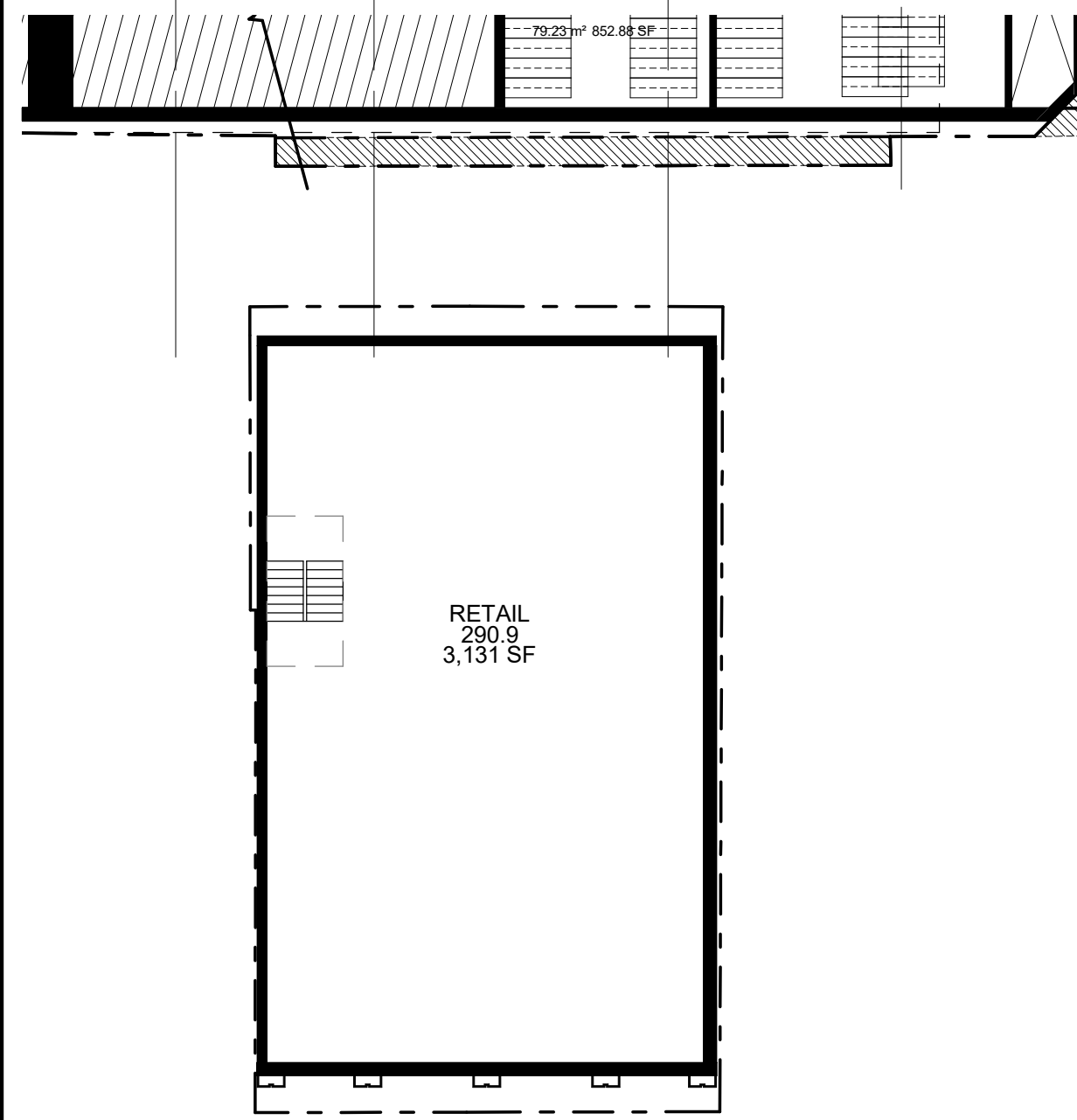
PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

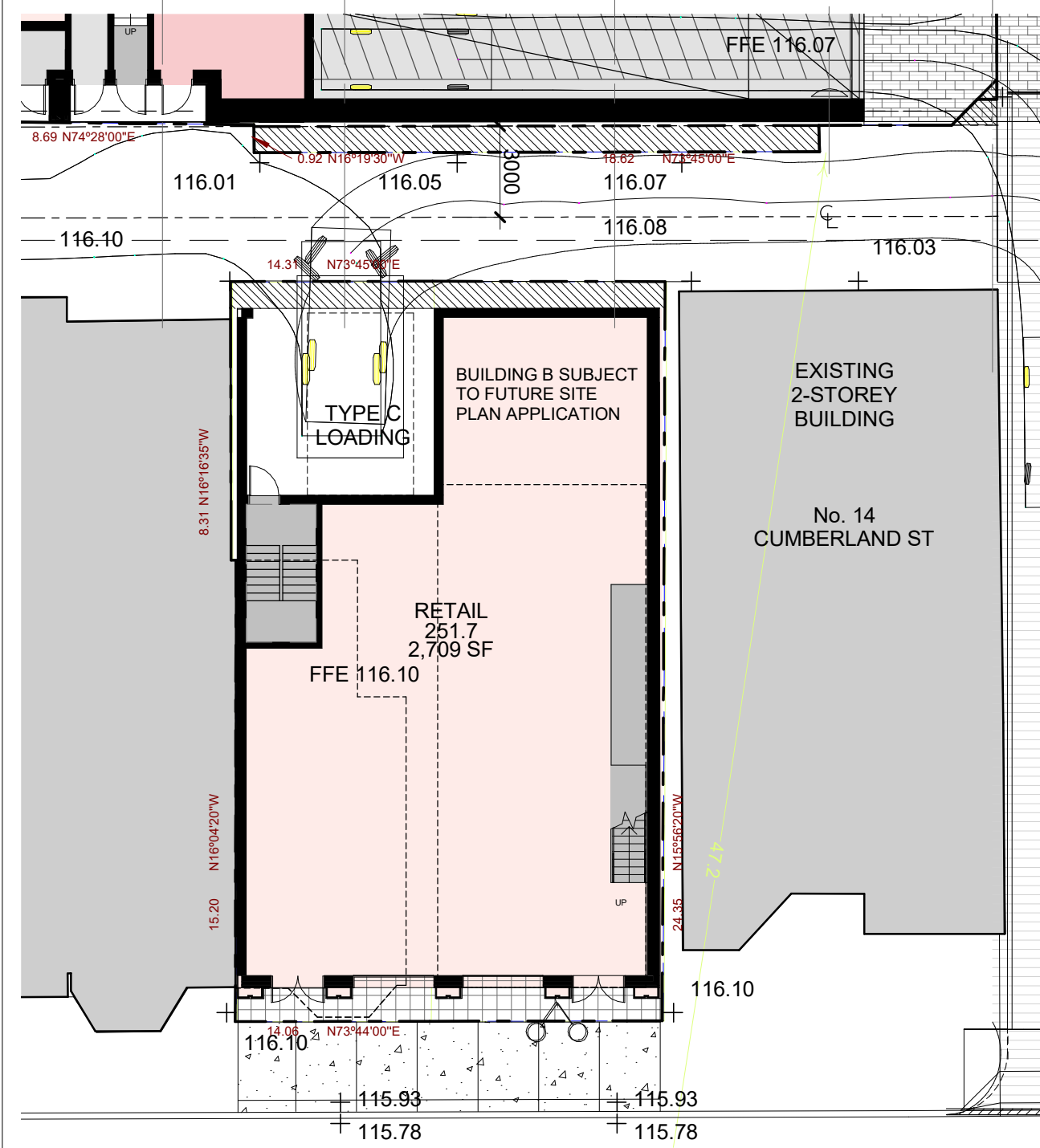
DWG TITLE
Roof Plan

DATE : 2018.05.11
 SCALE : 1 : 200
 DRAWN : MO
 CHECKED : CR
 PROJ. No. : 1734

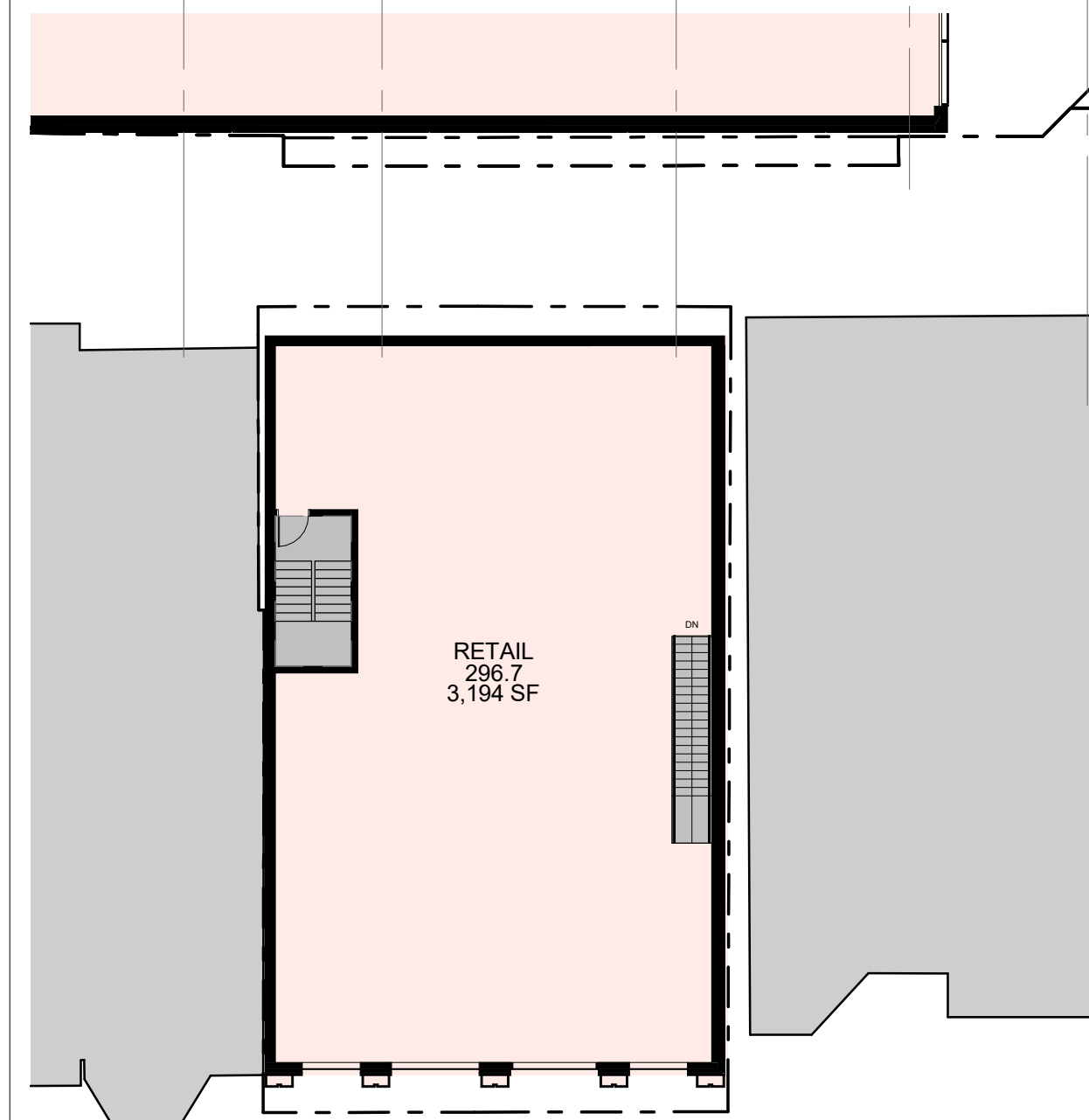




1 Basement Floor Plan
A123 1 : 200



2 Ground Floor Plan
A123 1 : 200



3 Second Floor Plan
A123 1 : 200

NOTE: BUILDING B SUBJECT TO FUTURE SITE PLAN APPLICATION.

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Building B - Floor Plans

DATE : 2018.05.11
SCALE : 1 : 200
DRAWN : AG
CHECKED : Checker
PROJ. No. : 1734



DWG No.
A123

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180317_R17_Lawrence.dwg

3/28/18 3:08:46 PM

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 12, 18	ISSUED FOR COORDINATION
DEC 19, 18	ISSUED FOR ZBA AND SPA
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

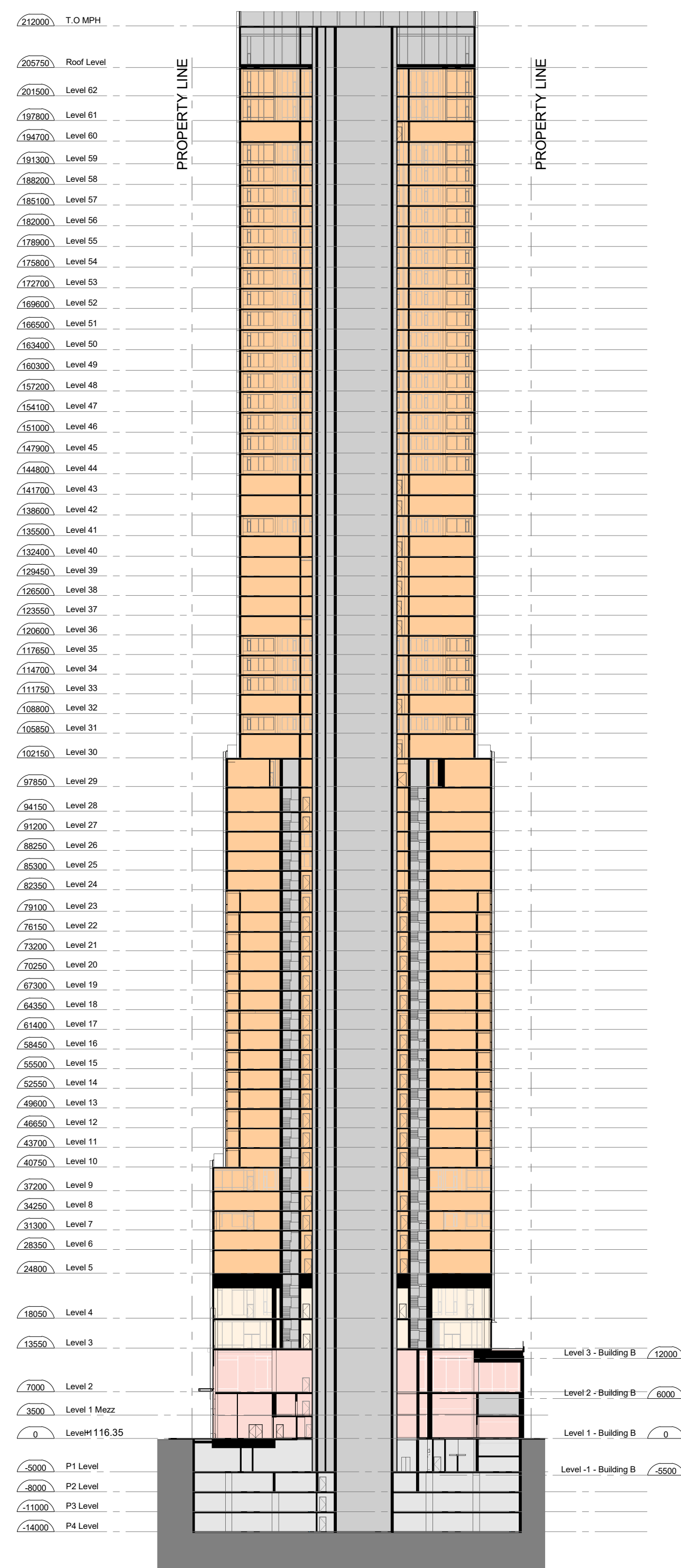
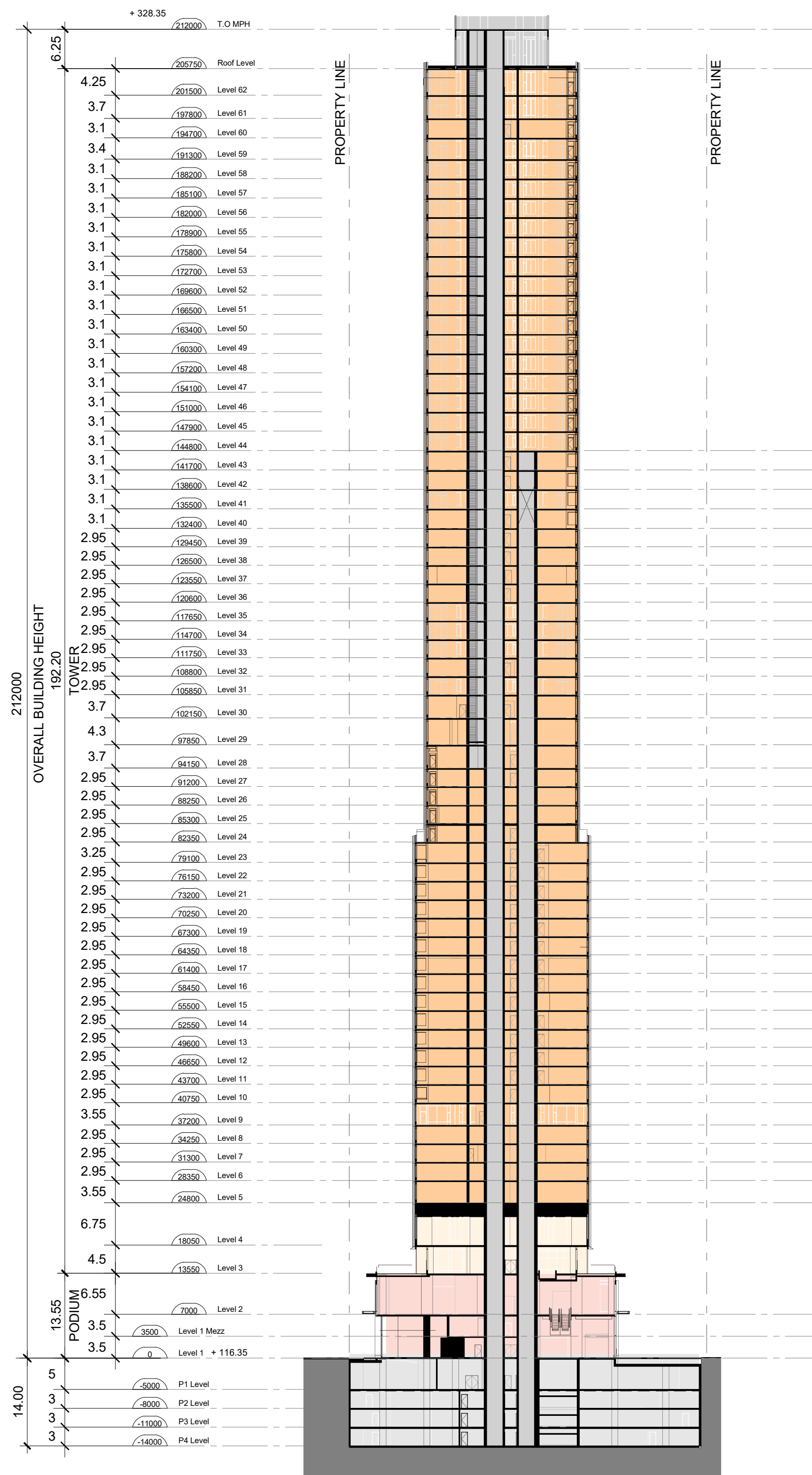
PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

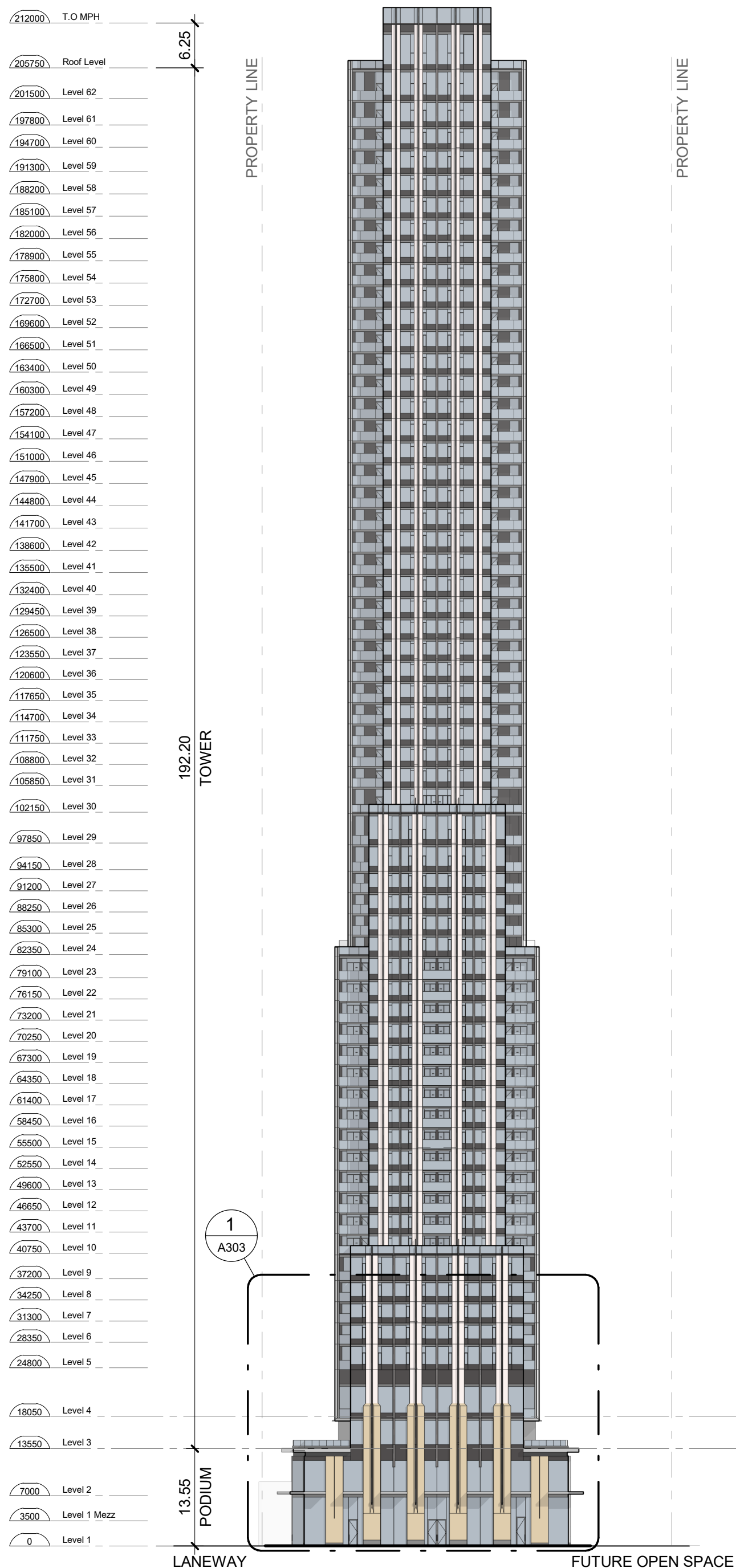
DWG TITLE
Building Sections

DATE : 2018.05.11
SCALE : 1 : 600
DRAWN : LL
CHECKED : CR
PROJ. No. : 1734

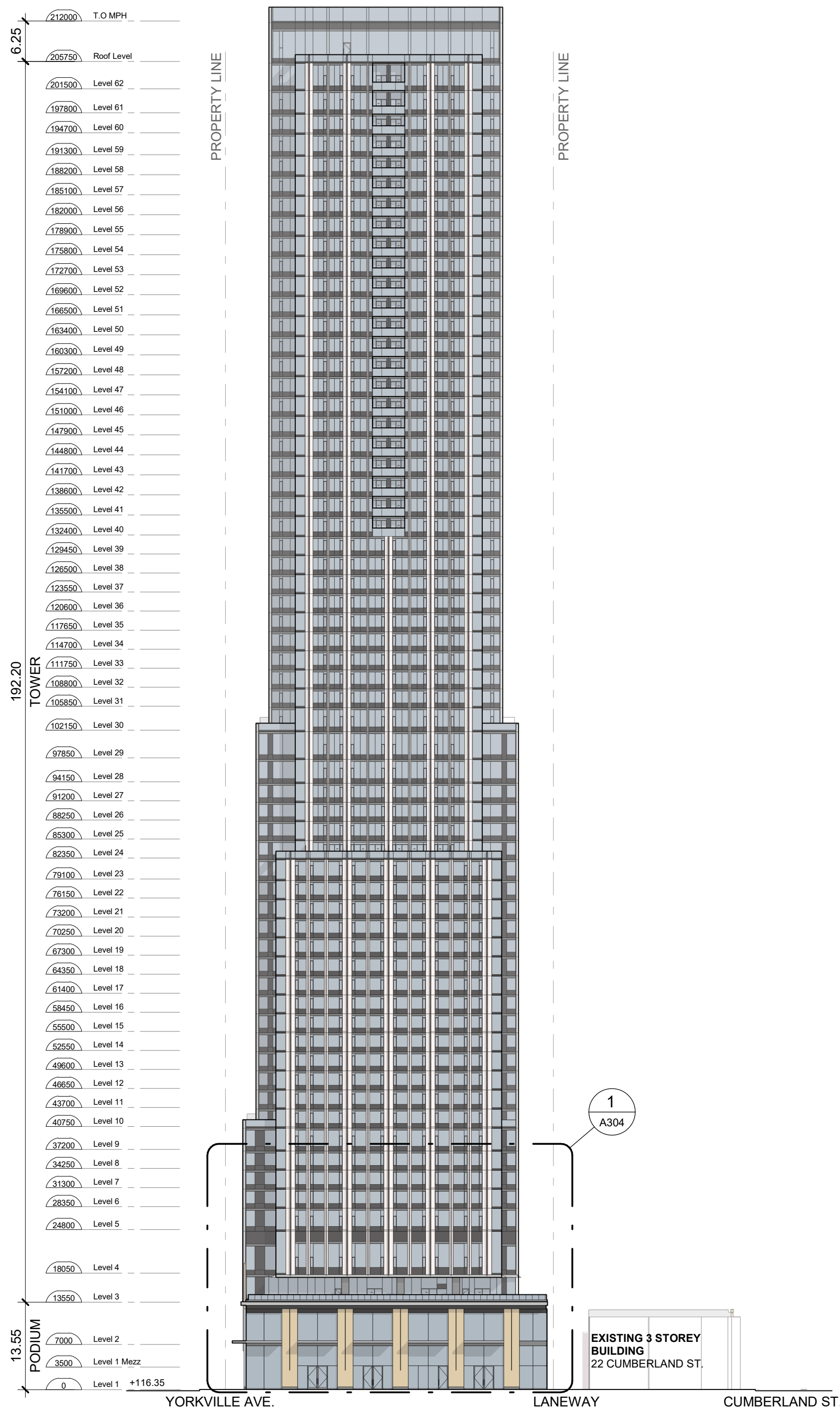
DWG No.
A201



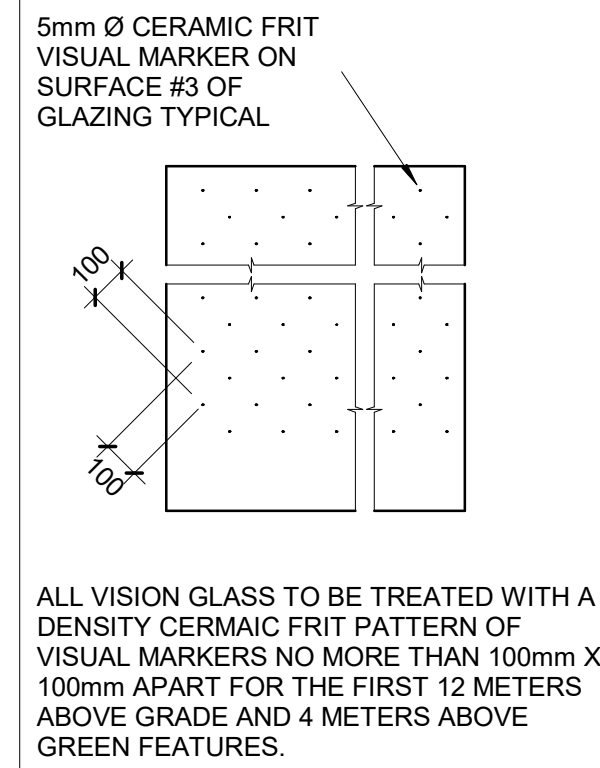
C:\Users\lance\Documents\REV\1734_11 Yorkville_20180131_R17_Lawrence.rvt 3/28/18 3:08:17 PM



2 A301 North
A301 1 : 600



1 A301 West
A301 1 : 600



3 Bird Deterent Detail
A301 1 : 20

Toronto Statistics Template - Toronto Green Standard Version 3.0
Bird Friendly Design

For further information, please visit www.toronto.ca/greendevlopment
Within 12m of Grade

Elevation	Vision Glazing	Low-Reflectance (Opaque Materials)	Visual Markers	Shaded	Total Treated Area (m ²)	Total Treated Area (%)
North	270	0	270	0	270	100
East	279	0	279	0	279	100
South	0	0	0	0	0	0
West	407	0	407	0	407	100
Totals (m ²)	956		956		956	
Totals (%)			100		100	

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

- NOV 28, 17 ISSUED FOR REVIEW
- JAN 16, 18 ISSUED FOR REVIEW
- JAN 26, 18 ISSUED FOR COORDINATION
- MAR 02, 18 ISSUED FOR COORDINATION
- MAR 21, 18 ISSUED FOR REVIEW
- MAR 22, 18 ISSUED FOR REZONING/SPA
- DEC 19, 18 ISSUED FOR ZBA AND SPA
- JAN 18, 19 ISSUED FOR REVIEW
- MAR 22, 19 ISSUED FOR COORDINATION
- MAR 28, 19 ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

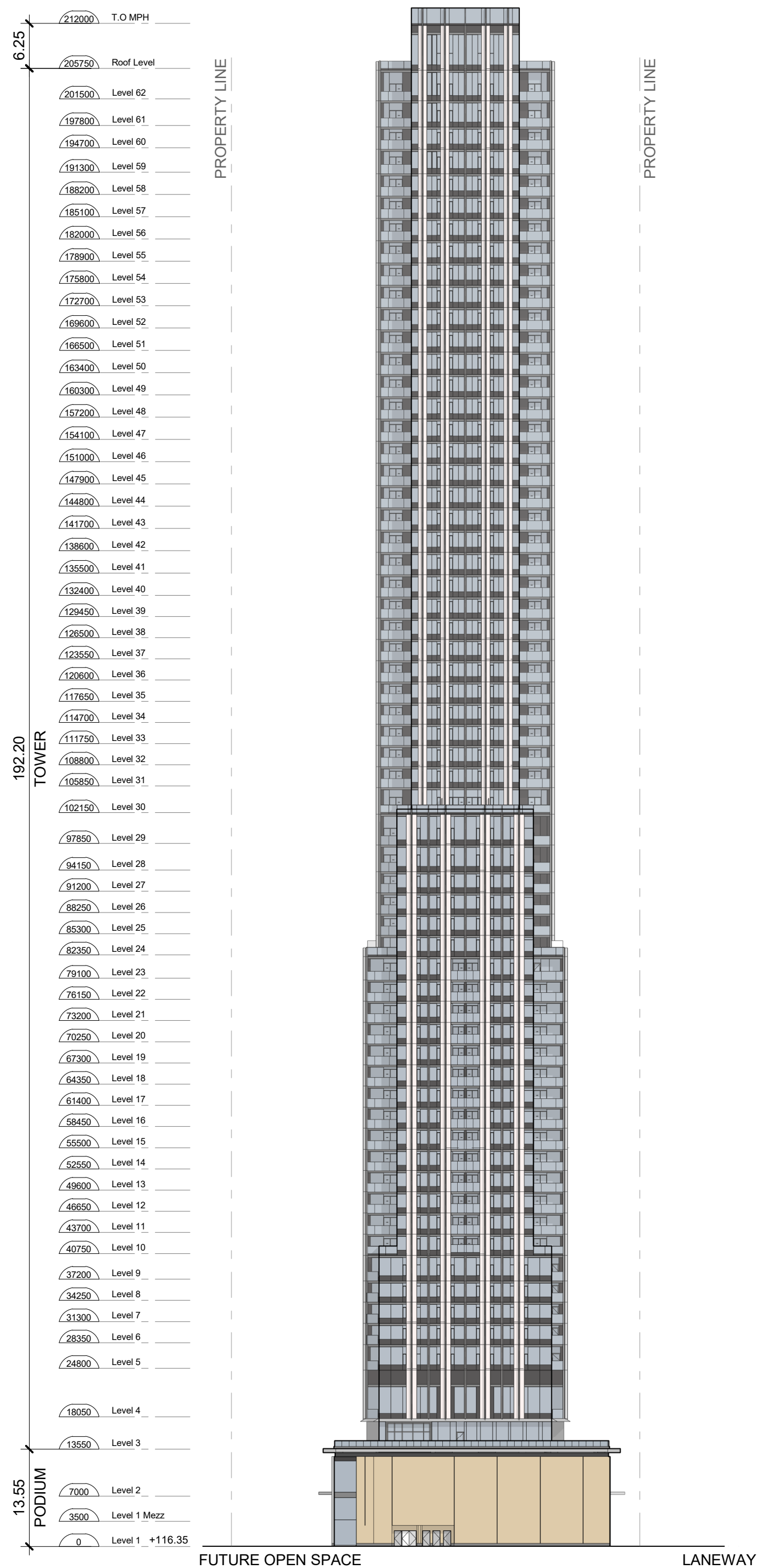
PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

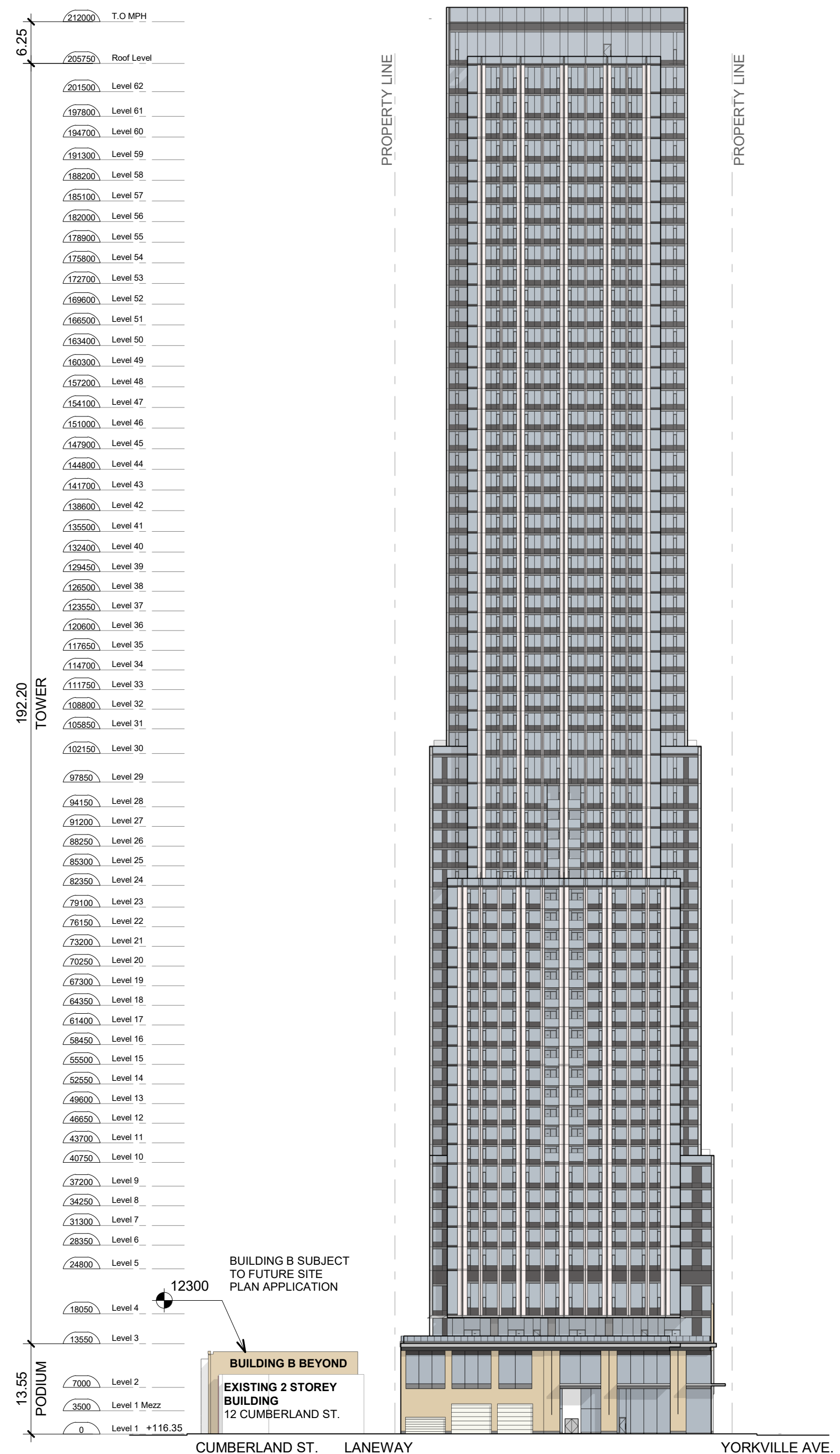
DWG TITLE
Building Elevations

DATE : 2018.05.11
SCALE : As indicated
DRAWN : MO
CHECKED : CR
PROJ. No. : 1734

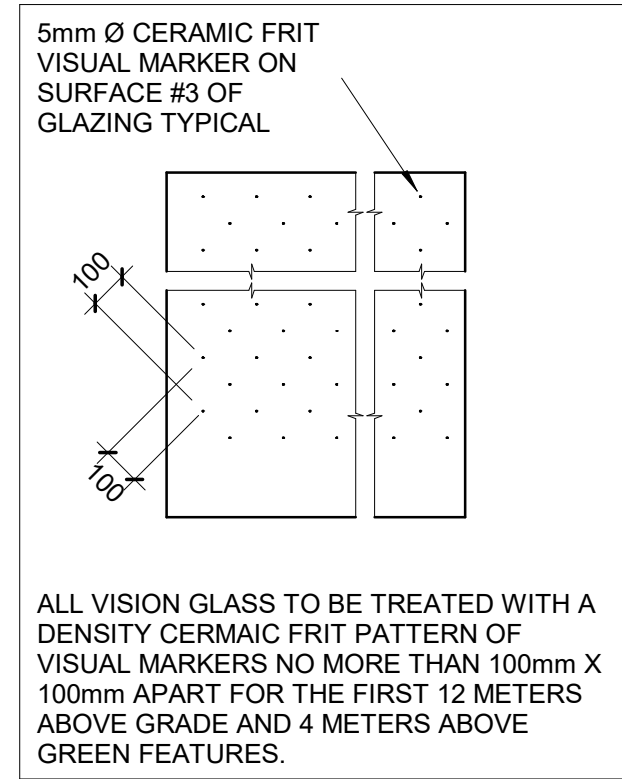
DWG No.
A301



2 A302 South
A302 1 : 600



1 A302 East
A302 1 : 600



3 Bird Deterent Detail
A302 1 : 20

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

NOV 28, 17	ISSUED FOR REVIEW
JAN 16, 18	ISSUED FOR REVIEW
JAN 26, 18	ISSUED FOR COORDINATION
MAR 02, 18	ISSUED FOR COORDINATION
MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Building Elevations

DATE : 2018.05.11
SCALE : As indicated
DRAWN : LL
CHECKED : CR
PROJ. No. : 1734

DWG No.
A302

MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

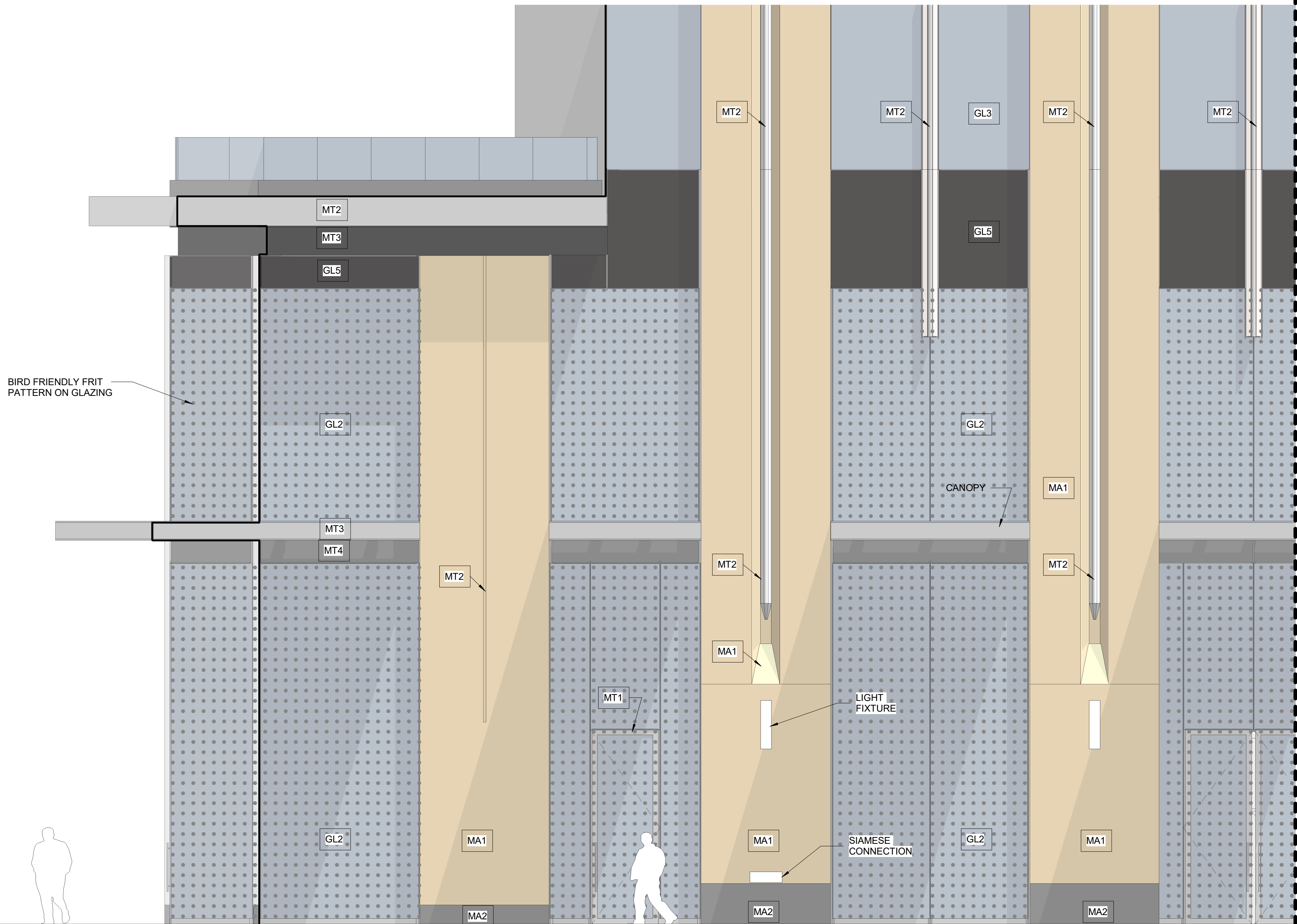
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



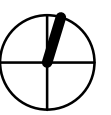
Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - North 1of2

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No.
A310

MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

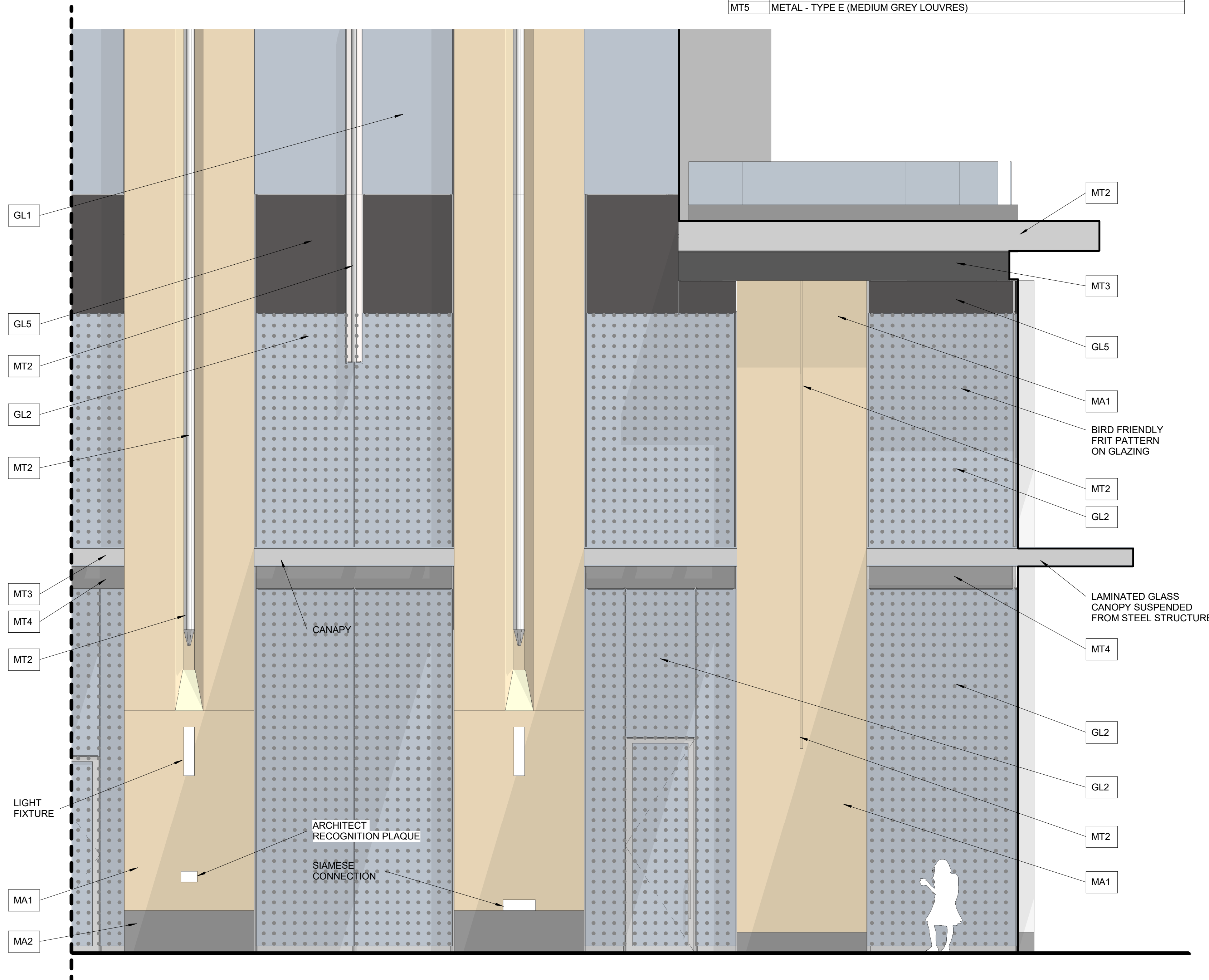
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - North 2of2

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No.
A311

MATERIAL LEGEND

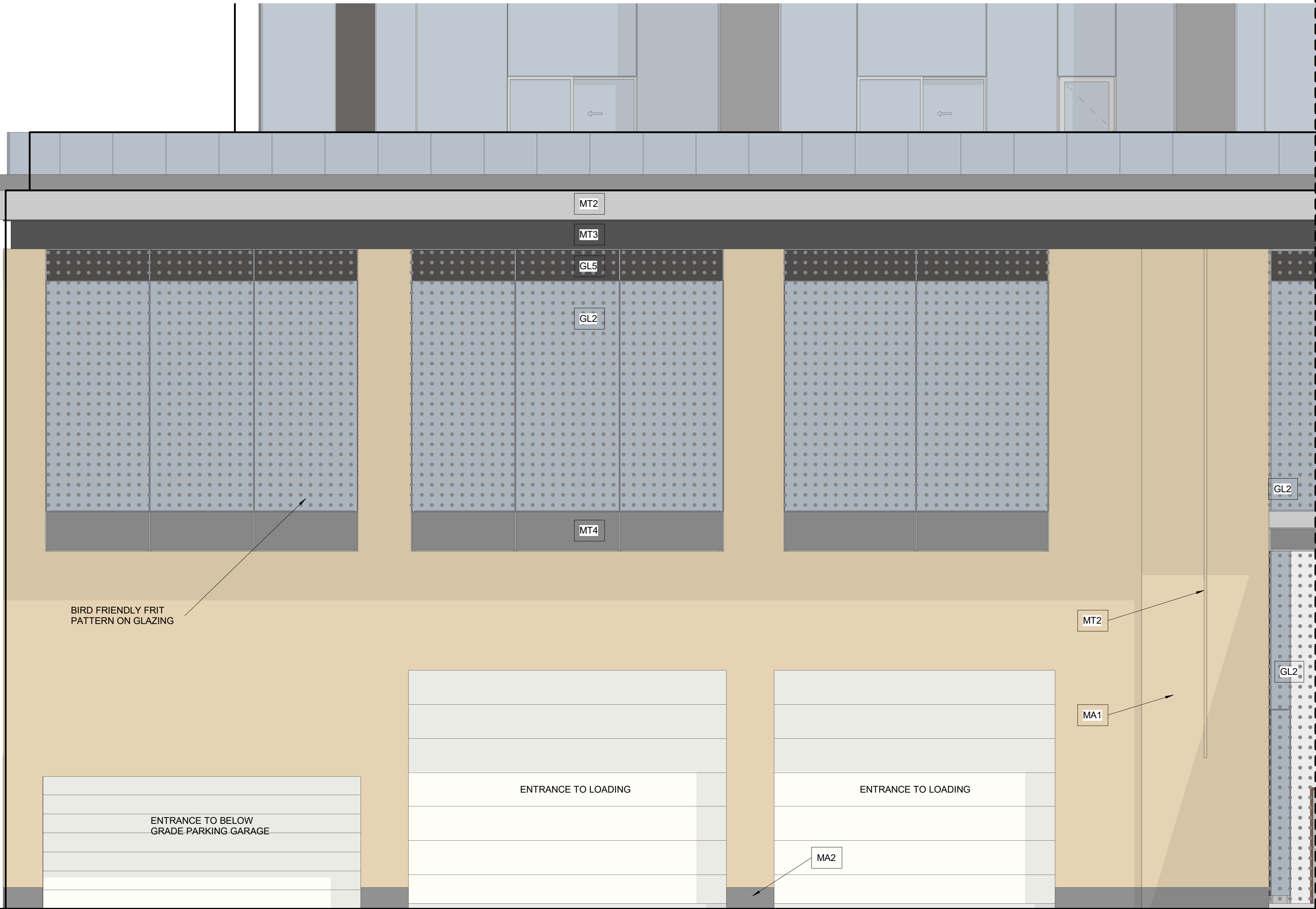
GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



BIRD FRIENDLY FRIT PATTERN ON GLAZING

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180311_R17_Lawrence.rvt 3/28/18 3:13:37 PM



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street
OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - East 1 of 2

DATE : 2018.05.11
SCALE : 1 : 50
DRAWN : Author
CHECKED : Checker
PROJ. No. : 1734



MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

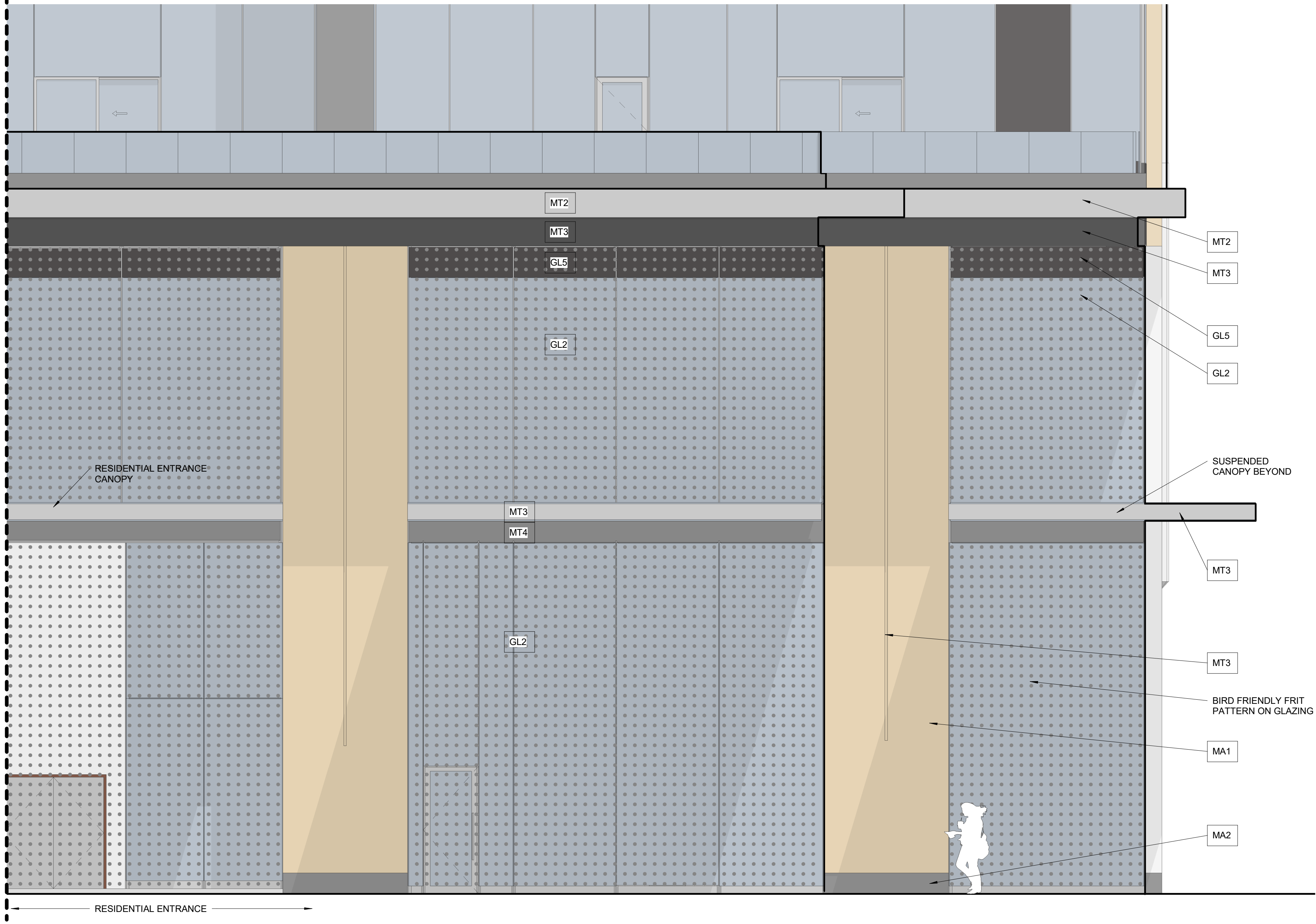
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21 18	ISSUED FOR REVIEW
MAR 22 18	ISSUED FOR REZONING/SPA
DEC 19 18	ISSUED FOR ZBA AND SPA
JAN 18 19	ISSUED FOR REVIEW
MAR 22 19	ISSUED FOR COORDINATION
MAR 28 19	ISSUED FOR ZBA AND SPA



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180311_R17_Lawrence.rvt 3/28/18 3:13:47 PM



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - East 2of2

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

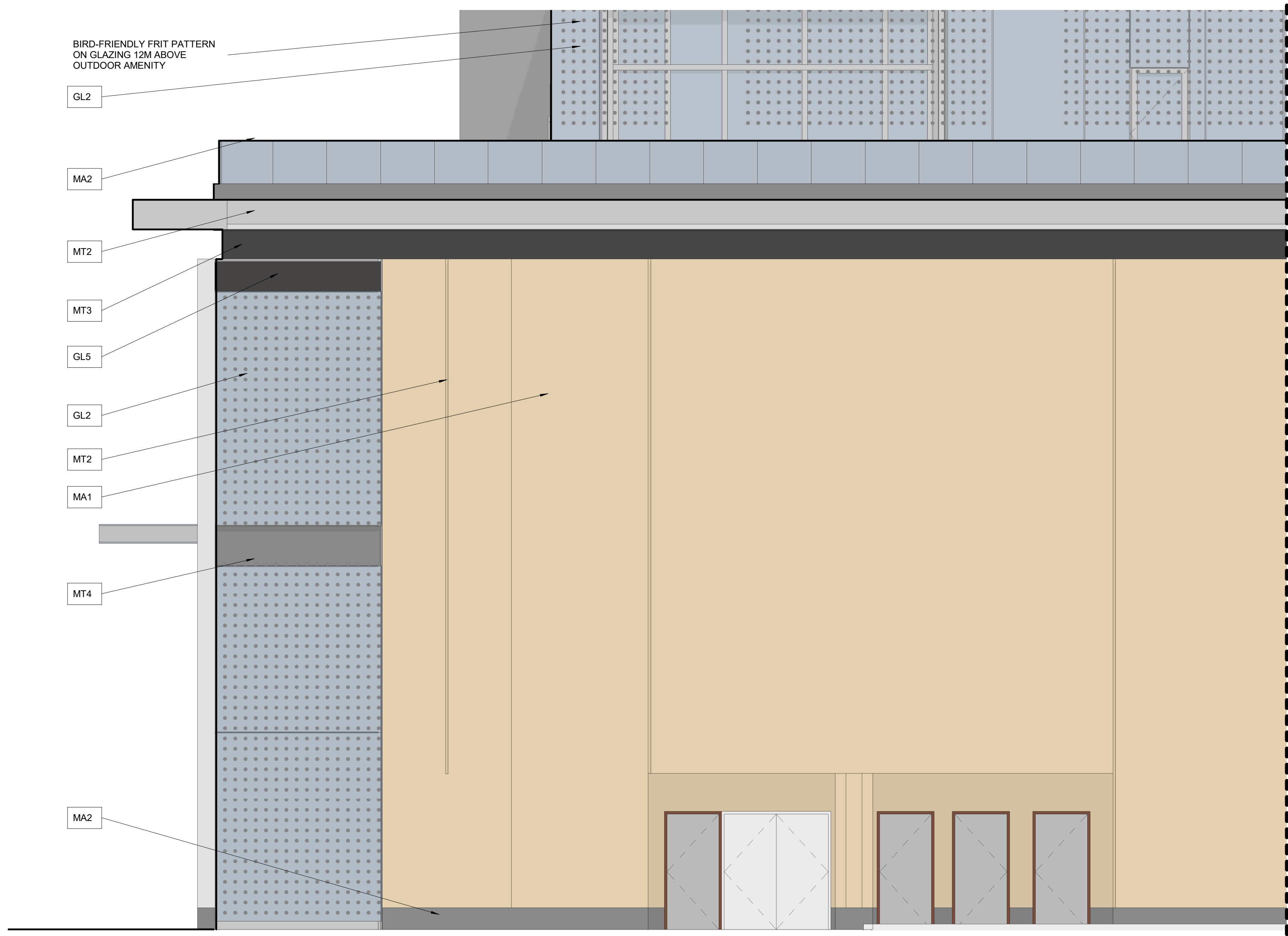
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21 18	ISSUED FOR REVIEW
MAR 22 18	ISSUED FOR REZONING/SPA
DEC 19 18	ISSUED FOR ZBA AND SPA
JAN 18 19	ISSUED FOR REVIEW
MAR 22 19	ISSUED FOR COORDINATION
MAR 28 19	ISSUED FOR ZBA AND SPA

BIRD-FRIENDLY FRIT PATTERN ON GLAZING 12M ABOVE OUTDOOR AMENITY



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
TORONTO, ONTARIO | M5V 2H2 | CANADA
P: 416-971-6252 | F: 416-971-5420
E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
11-25 Yorkville Avenue,
16-18 Cumberland Street
OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - South 1of2

DATE : 2018.05.11
SCALE : 1 : 50
DRAWN : Author
CHECKED : Checker
PROJ. No. : 1734



MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

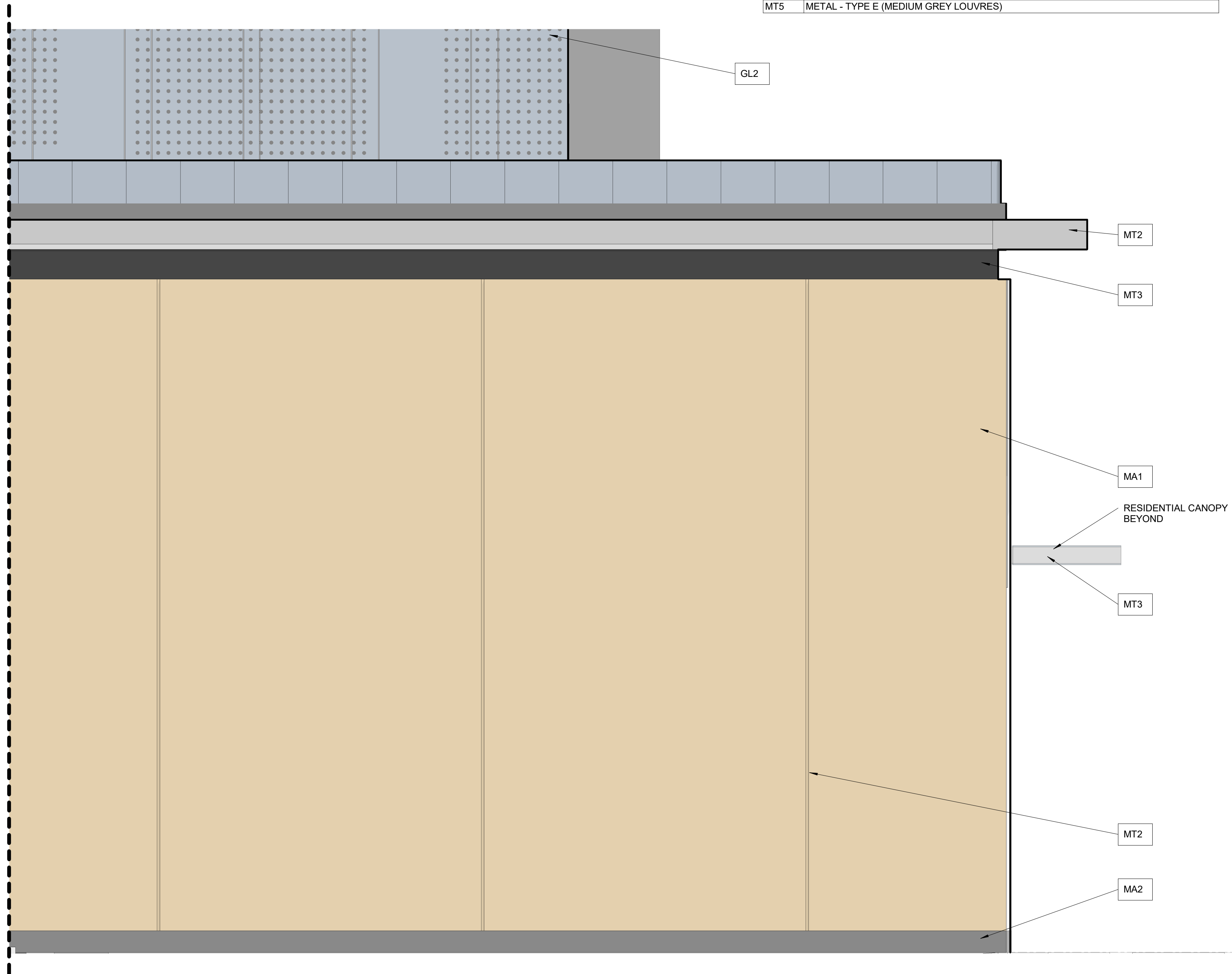
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny&Co Architects

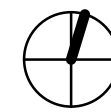
134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
**Mixed-Use
 Development**
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
**17 Yorkville Partners
 Inc.**

DWG TITLE
**Coloured Elevation -
 South 2of2**

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No.
A315

MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

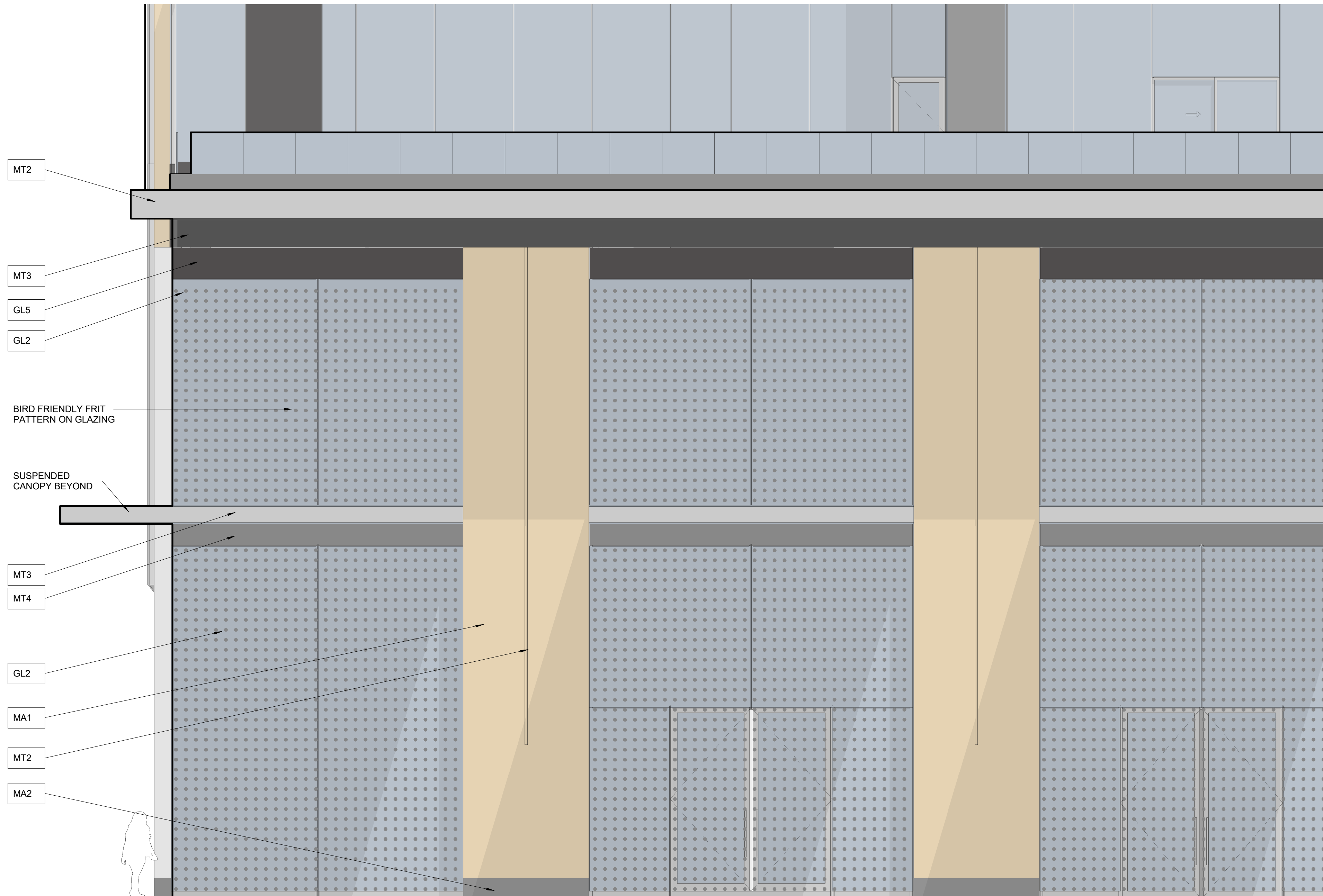
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21, 18	ISSUED FOR REVIEW
MAR 22, 18	ISSUED FOR REZONING/SPA
DEC 19, 18	ISSUED FOR ZBA AND SPA
JAN 18, 19	ISSUED FOR REVIEW
MAR 22, 19	ISSUED FOR COORDINATION
MAR 28, 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street
 OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - West 1of2

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



DWG No.
A316

C:\Users\lance\Documents\REV\1734_11 Yorkville_20180317_R17_Lawrence.rvt

3/28/18 3:14:16 PM

MATERIAL LEGEND

GL1	CAPLESS DOUBLE GLAZING - VISION
GL2	CAPLESS DOUBLE GLAZING - VISION W/ FRIT (BIRD-FRIENDLY)
GL3	CAPLESS DOUBLE GLAZING - GLASS SPANDREL W/ FRIT (MEDIUM GREY)
GL4	CAPLESS DOUBLE GLAZING - ACID ETCHED GLASS SPANDREL W/ FRIT (BEIGE)
GL5	CAPLESS DOUBLE GLAZING - GLASS SPANDREL SHADOW BOX W/ FRIT (DARK GREY)
MA1	STONE VENEER - LIMESTONE
MA2	STONE VENEER - GRANITE
MT1	METAL - TYPE A (LIGHT GREY MULLIONS)
MT2	METAL - TYPE B (LIGHT GREY FINIS)
MT3	METAL - TYPE C (CHARCOAL GREY REVEAL)
MT4	METAL - TYPE D (MEDIUM GREY SPANDREL)
MT5	METAL - TYPE E (MEDIUM GREY LOUVRES)

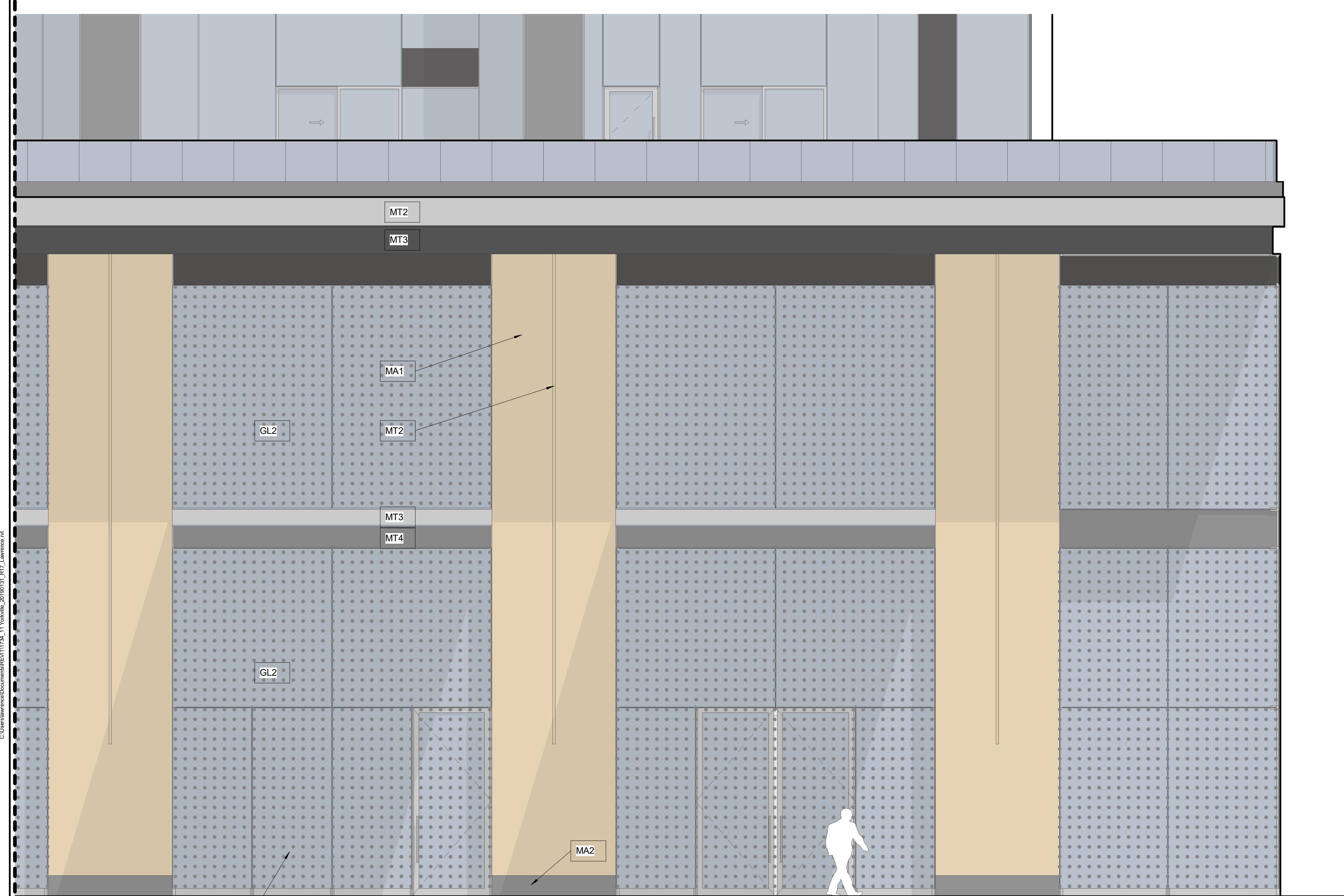
DRAWING NOT TO BE SCALED

Contractor must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.

This drawing shall not be used for construction purposes until signed by the consultant responsible. This drawing, as an instrument of service, is provided by and is the property of Sweeny & Co. Architects.

ISSUED / REVISED

MAR 21 18	ISSUED FOR REVIEW
MAR 22 18	ISSUED FOR REZONING/SPA
DEC 19 18	ISSUED FOR ZBA AND SPA
JAN 18 19	ISSUED FOR REVIEW
MAR 22 19	ISSUED FOR COORDINATION
MAR 28 19	ISSUED FOR ZBA AND SPA



Sweeny & Co Architects

134 PETER STREET | SUITE 1601
 TORONTO, ONTARIO | M5V 2H2 | CANADA
 P: 416-971-6252 | F: 416-971-5420
 E: info@andco.com | www.sweenyandco.com

PROJ. NAME
Mixed-Use Development
 11-25 Yorkville Avenue,
 16-18 Cumberland Street

OWNER
17 Yorkville Partners Inc.

DWG TITLE
Coloured Elevation - West 2of2

DATE : 2018.05.11
 SCALE : 1 : 50
 DRAWN : Author
 CHECKED : Checker
 PROJ. No. : 1734



C:\Users\lance\Documents\REV\1734_11 Yorkville_20180317_R17_Lawrence.rvt 3/28/18 3:14:25 PM